

**FIRST AMENDMENT TO DECLARATION OF CONDOMINIUM
OF RIVER PALMS RIVERFRONT, A CONDOMINIUM**

THIS FIRST AMENDMENT TO DECLARATION OF CONDOMINIUM OF RIVER PALMS RIVERFRONT, A CONDOMINIUM (the "Amendment") is made as of the ~~27th~~ day of July, 2023, by RIVER PALMS RIVERFRONT DEVELOPMENT, LLC, a Florida limited liability company (the "Developer"), pursuant to the authority reserved in the Declaration of Condominium of River Palms Riverfront, a Condominium, recorded October 12, 2022, in Official Records Book 9632, Page 1875, of the Public Records of Brevard County, Florida (the "Declaration").

NOW, THERERFORE, in consideration of the premises and for good and other valuable consideration, the receipt of which is hereby acknowledged, and pursuant to the terms and authority contained in the Declaration, the Developer hereby amends the Declaration, as follows:

1. Survey and Certificate of Surveyor. The Declaration is amended to replace Exhibit "A-1" and the corresponding Sheets of Exhibit "A" with those which are attached hereto.

THIS AMENDMENT DOES NOT CHANGE THE CONFIGURATION OR SIZE OF ANY PREVIOUSLY EXISTING CONDOMINIUM UNIT, DOES NOT ALTER OR MODIFY THE APPURTENANCES TO ANY PREVIOUSLY EXISTING UNIT AND DOES NOT CHANGE THE PROPORTION OR PERCENTAGE BY WHICH THE OWNERS OF UNITS SHARE THE COMMON EXPENSE AND SURPLUS.

IN WITNESS WHEREOF, the Developer has caused this Amendment to be executed as of the ~~27th~~ day of July, 2023.

In the presence of:

Jina Johnson
Witness Signature

Tina Johnson
Witness Printed Name

Monica Feldman
Witness Signature

Monica Feldman
Witness Printed Name

RIVER PALMS RIVERFRONT DEVELOPMENT, LLC, a Florida limited liability company

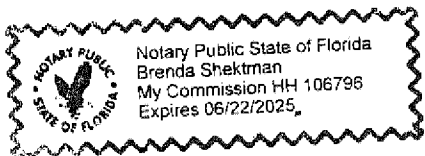
By: [Signature]
Robert Kodsi, as Manager

STATE OF FLORIDA
COUNTY OF BREVARD

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ~~27th~~ day of July, 2022, by Robert Kodsi, as Manager of River Palms Riverfront Development, LLC, a Florida limited liability company, on behalf of the company. Robert Kodsi is personally known to me, or produced _____ as identification.

My Commission Expires:

Brenda Shekman
Notary Public - State of Florida
Print Name: Brenda Shekman



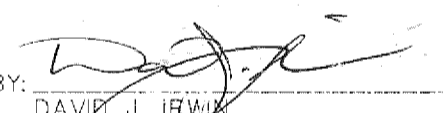
Surveyor's Certificate For River Palms Riverfront, A Condominium

STATE OF FLORIDA
COUNTY OF BREVARD

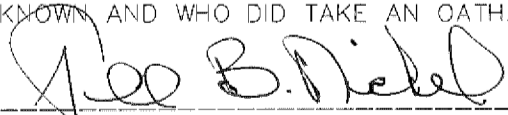
BEFORE ME, THE UNDERSIGNED AUTHORITY DULY AUTHORIZED TO ADMINISTER OATHS AND ACKNOWLEDGMENTS, PERSONALLY APPEARED "DAVID J. IRWIN", BY ME WELL KNOWN, AND KNOWN TO ME TO BE THE PERSON HEREINAFTER DESCRIBED, WHO AFTER BEING BY ME FIRST DULY CAUTIONED AND SWORN, DEPOSES AND SAYS AN OATH AS FOLLOWS, TO-WIT:

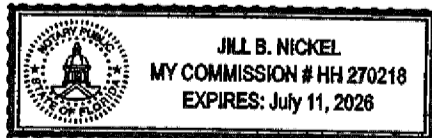
I HEREBY CERTIFY THAT THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN AND DESCRIBED ON THE ATTACHED EXHIBIT "A" IS NOT SUBSTANTIALLY COMPLETE; HOWEVER, THE SOUTH TOWER BUILDING, RECREATION BUILDING, AND POOL ARE SUBSTANTIALLY COMPLETE AND THESE DRAWINGS ARE SUFFICIENTLY DETAILED SO THAT THE MATERIAL DESCRIBED AND SHOWN ON THE ATTACHED EXHIBIT "A" TOGETHER WITH THE PROVISIONS OF THE DECLARATION OF CONDOMINIUM ESTABLISHING RIVER PALMS RIVERFRONT, A CONDOMINIUM, IS AN ACCURATE REPRESENTATION OF THE LOCATIONS AND DIMENSIONS OF THE IMPROVEMENTS, AND THAT THE IDENTIFICATION, LOCATIONS AND DIMENSIONS OF THE COMMON ELEMENTS AND OF EACH UNIT CAN BE DETERMINED FROM THESE MATERIALS.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL, THIS 11th DAY OF OCTOBER 2022, A.D.

BY: 
DAVID J. IRWIN
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 6672
ALLEN ENGINEERING, INC.

THIS FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 31st DAY OF JULY 2023, A.D. BY DAVID J. IRWIN, WHO IS PERSONALLY KNOWN AND WHO DID TAKE AN OATH.


JILL B. NICKEL
NOTARY PUBLIC-STATE OF FLORIDA
MY COMMISSION EXPIRES: JULY 11, 2026
MY COMMISSION NO IS: HH 270218



River Palms Riverfront, A Condominium

Description:

River Palms Riverfront Condominium Owned Land

A portion of Lots 16 through 28, STATE TREE SHORES, according to the plat thereof as recorded in Plat Book 8, Page 49, and a portion of Riverfront Lots 2 and 3, Block E, RIVERSIDE PARK, according to the plat thereof as recorded in Plat Book 2, Page 14, all of the Public Records of Brevard County, Florida, and lying within Section 10, Township 22 South, Range 35 East, Brevard County, Florida, being more particularly described as follows:

Begin at the Northwest corner of said Lot 16; thence S13°32'13"E, along the East line of said Lots 16 through 28 and the East right of way line of Riverside Drive, a distance of 783.94 feet, to the Southwest corner of said Lot 28, said point also being the intersection of the east right of way line of Riverside Drive with the East right of way line of State Road No. 5 (A.K.A. US Highway 1 and S. Washington Avenue); thence S13°04'06"E, along said East right of way line of State Road No. 5, a distance of 4.03 feet; thence N69°29'47"E, parallel with the South line of said Lot 28, a distance of 200.29 feet; thence N16°48'43"W, a distance of 783.78 feet, to a point on the easterly extension of the North line of said Lot 16; thence S69°29'47"W, along the easterly extension of and, the north line of said Lot 16, a distance of 155.15 feet, to the POINT OF BEGINNING; Containing 3.19 acres, more or less.

Surveyor's Notes Concerning Sketch Of Survey:

1. The bearings shown hereon are referenced to the Florida State Plane Coordinate System, Florida East Zone, North American Datum of 1983, 2011 adjustment (NAD 83/2011) and are based on a bearing of N23°06'11"W, as inverted between Brevard County GPS monuments stamped "GPS 5049 BRUCE 2003" and "GPS 5050 LYNN 2003".
2. The mean high water line per Chapter 177, Part II of the Florida Statutes was not located as part of this survey.
3. According to FIRM (Flood Insurance Rate Map) Map Number 12009C0210H, Panel Number 125152 0210 H, Map Revised Date: January 29, 2021, this property lies within FIRM Zones AE (EL. 4) and X.

Surveyor's Notes Concerning The Graphic Plot Plan:

1. The information shown on sheets 1-2 OF 37 is based on an approved site plan prepared by Clayton A. Bennett, Professional Engineer of Bennett Engineering & Consulting, LLC. The approved site plan is made a part of this exhibit by reference.
2. River Palms Riverfront, A Condominium, consists of 2 buildings noted as "North Tower" and "South Tower". Each tower has 5 residential levels and 1 garage level for a total of 6 levels. There are 50 units in North Tower and 50 units in South Tower for a total of 100 units. Excluding elevator height, each tower is 57.00 feet above grade. The condominium also consists of 1 single story recreation building and 1 swimming pool.
3. The units numbered in each tower are shown on sheets 7 through 16. The balconies adjacent to each unit are common elements that are limited in use to that unit.
4. The garage level in each tower has assigned parking spaces that are numbered. These spaces are common elements that are limited to certain units as set forth in the declaration of condominium. Refer to the garage level plans shown on sheets 5 and 6.
5. All areas and improvements exclusive of the units are common elements of the condominium, as set forth in the Declaration of Condominium.

Surveyor's Notes Concerning The Surveyor's Certificate:


The South Tower Condominium Building, Recreation Building and Pool were previously recorded at Official Records Book 9632, Page 1875 of the Public Records of Brevard County, Florida. The North Tower Condominium Building contained herein received a Certificate of Occupancy from the City of Titusville dated July 27, 2023.

Surveyor's Certification:

I hereby certify to the best of my knowledge and belief the Sketch of Survey shown on Sheet 3 is an accurate representation of a survey made under my direction, in accordance with all applicable requirements of the "Standards of Practice" as described in Chapter 5J-17 Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.

ALLEN ENGINEERING, INC.

Not valid without the original signature and the raised seal or the electronic signature and computer generated seal of a Florida Licensed Surveyor and Mapper.

BY: 
 DAVID J. IRWIN
 Professional Surveyor & Mapper
 Florida Registration No. 6672

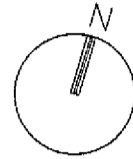
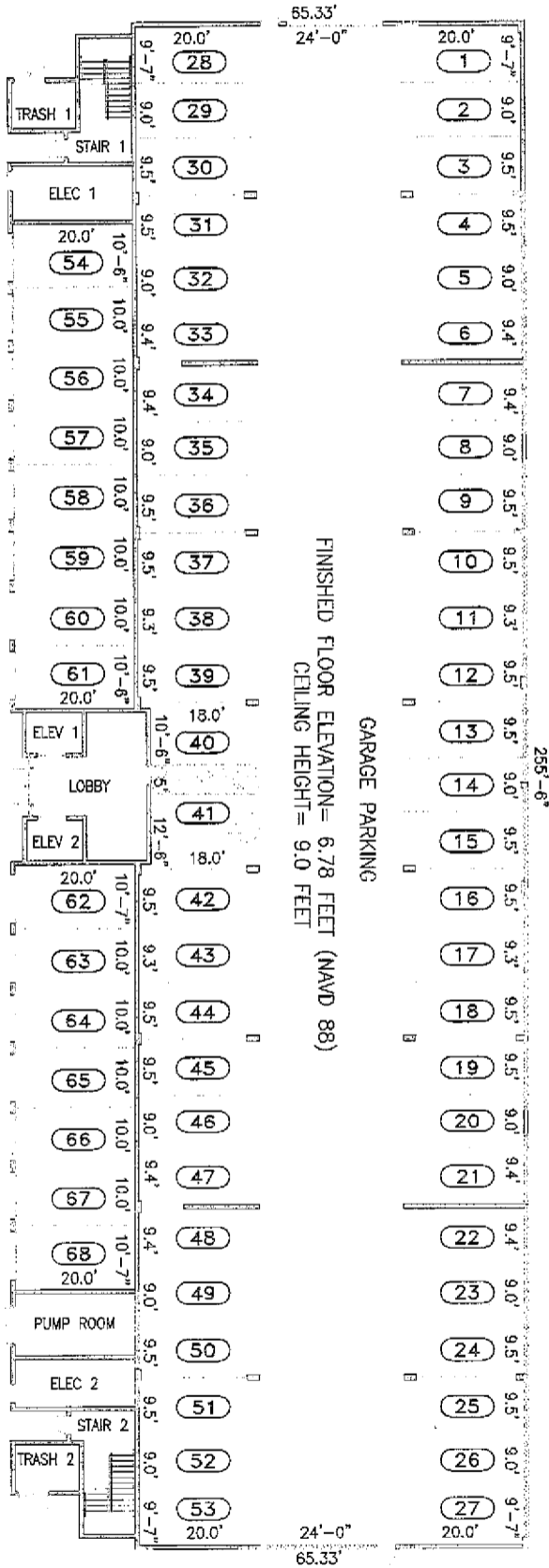
ALLEN ENGINEERING INC.
 106 DIXIE LANE
 COCOA BEACH FLORIDA
 NOVEMBER 12, 2020
 REVISED JULY 31, 2023

EXHIBIT "A"

SHEET 4 OF 37

River Palms Riverfront, A Condominium

First (Garage) Level Plan ~ North Tower



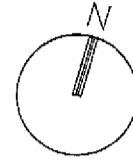
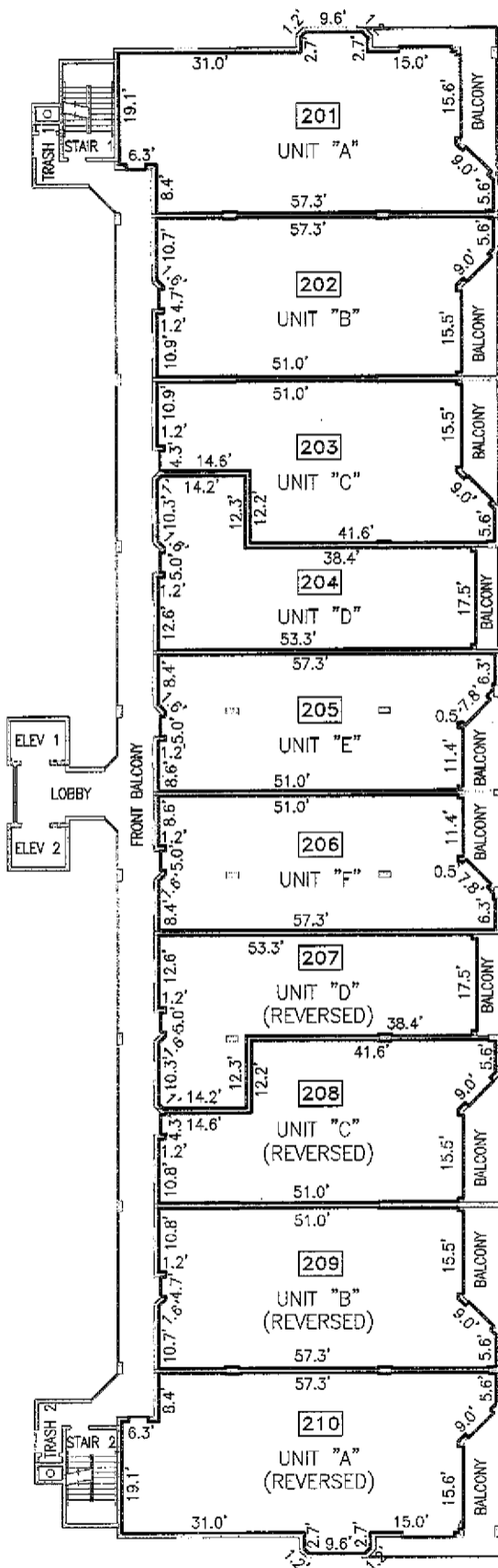
SCALE: 1"=30'

Surveyor's Notes:

1. The first (garage) level finished floor elevation is 6.78 feet.
2. The finished ceiling elevation varies.
3. All areas and improvements shown on this plan are common areas of the condominium, however, the parking spaces shown with parking space designations i.e., "10" indicates the parking space designation" are common elements limited to the use of certain units as set forth in the declaration of condominium.
4. The elevations shown are based on North American Vertical Datum of 1988 (NAVD 88).
5. The garage plan was prepared by MelD Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Second (Living) Floor Plan ~ North Tower



SCALE: 1"=30'

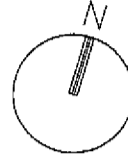
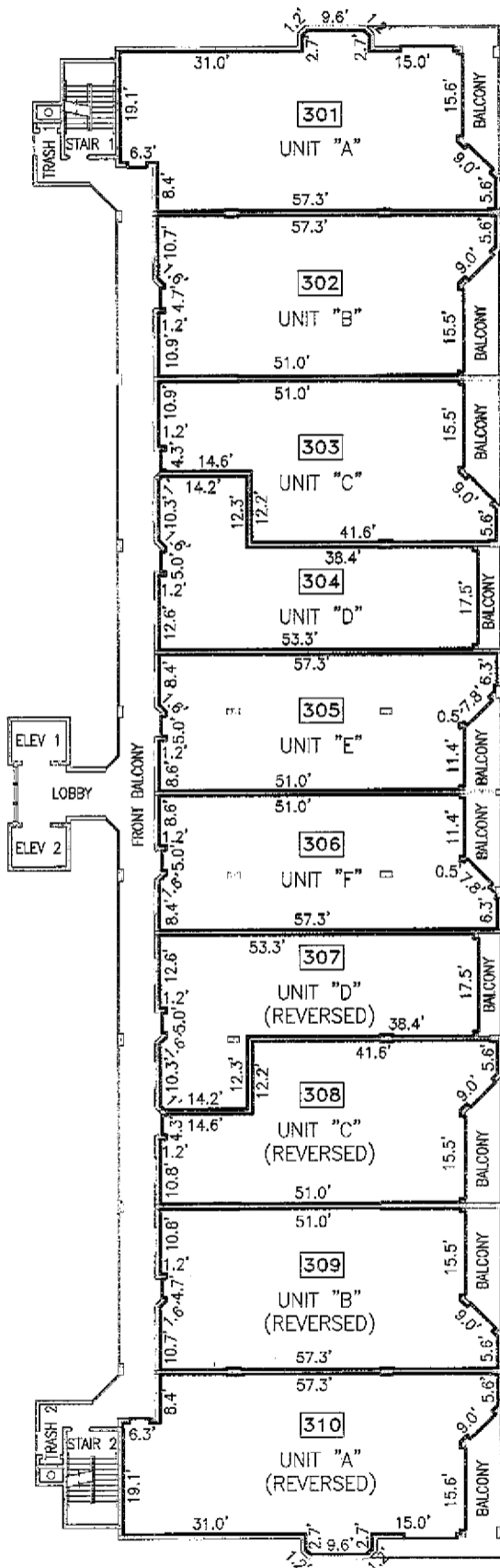
Surveyor's Notes:

1. The second (living) finished floor elevation is 17.12 feet.
2. The finished ceiling height is

8.58'	(Unit 201)
8.58'	(Unit 202)
8.56'	(Unit 203)
8.56'	(Unit 204)
8.55'	(Unit 205)
8.53'	(Unit 206)
8.55'	(Unit 207)
8.54'	(Unit 208)
8.55'	(Unit 209)
8.54'	(Unit 210)
3. ——— Indicates the limits of the units.
4. [201] Indicates the unit number designation.
5. All areas and improvements exclusive of the units are common elements of the condominium.
6. The elevations shown are based on North American Vertical Datum of 1988 (NAVD 88).
7. The exterior walkways are common elements limited for the use of the adjacent unit.
8. See sheets 17 through 36 for typical unit plans.
9. The floor plan was prepared by MelD Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.
10. The balconies shown are common elements of the condominium whose use is limited to the adjacent unit.

River Palms Riverfront, A Condominium

Third (Living) Floor Plan ~ North Tower



SCALE: 1"=30'

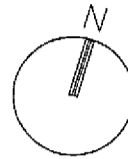
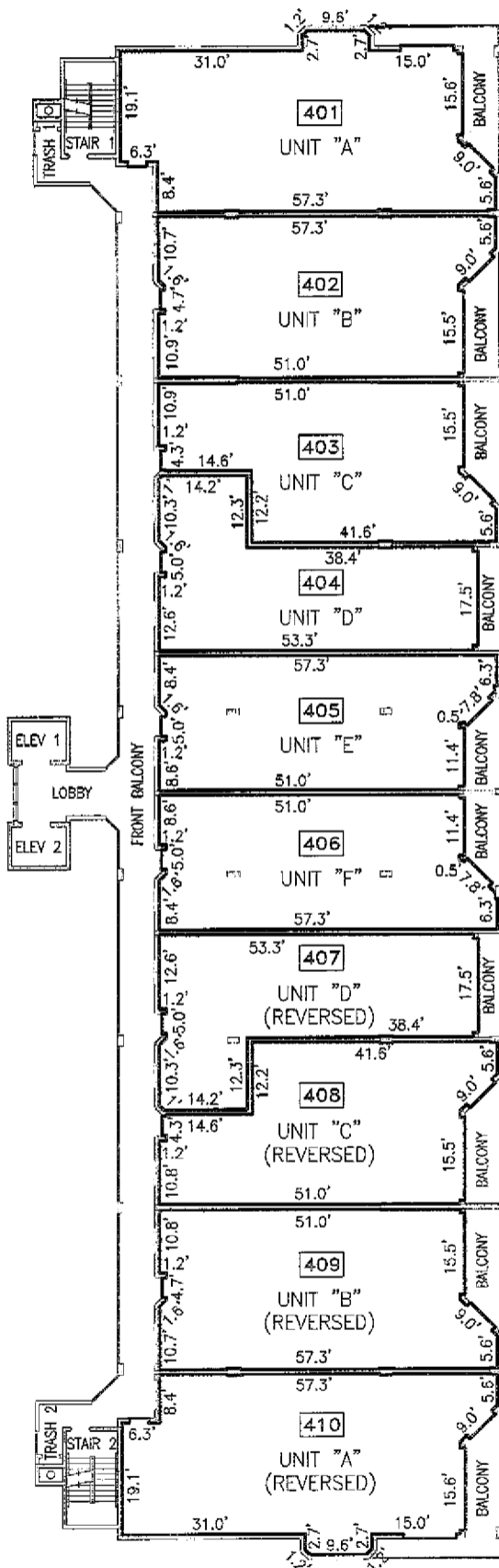
Surveyor's Notes:

1. The third (living) finished floor elevation is 26.41 feet.
2. The finished ceiling height is

8.56'	(Unit 301)
8.62'	(Unit 302)
8.61'	(Unit 303)
8.63'	(Unit 304)
8.60'	(Unit 305)
8.60'	(Unit 306)
8.63'	(Unit 307)
8.60'	(Unit 308)
8.63'	(Unit 309)
8.65'	(Unit 310)
3. — Indicates the limits of the units.
4. **301** Indicates the unit number designation.
5. All areas and improvements exclusive of the units are common elements of the condominium.
6. The elevations shown are based on North American Vertical Datum of 1988 (NAVD 88).
7. The exterior walkways are common elements limited for the use of the adjacent unit.
8. See sheets 17 through 36 for typical unit plans.
9. The floor plan was prepared by MelD Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.
10. The balconies shown are common elements of the condominium whose use is limited to the adjacent unit.

River Palms Riverfront, A Condominium

Fourth (Living) Floor Plan ~ North Tower



SCALE: 1"=30'

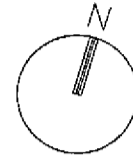
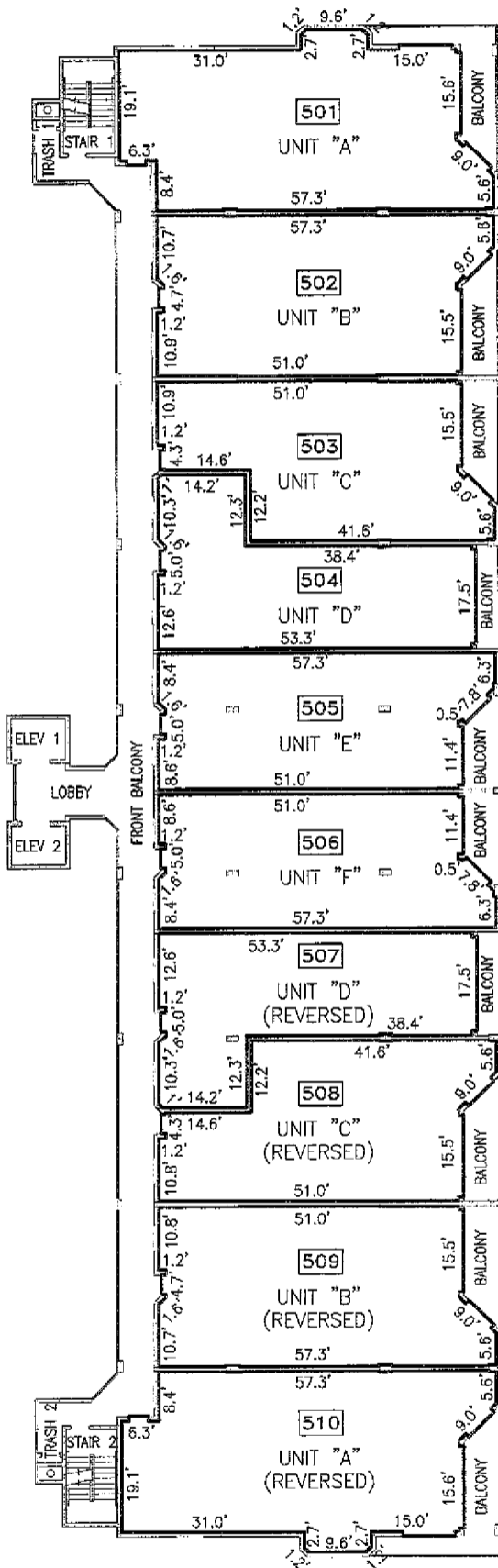
Surveyor's Notes:

1. The fourth (living) finished floor elevation is 35.80 feet.
2. The finished ceiling height is

8.61' (Unit 401)
8.61' (Unit 402)
8.66' (Unit 403)
8.60' (Unit 404)
8.63' (Unit 405)
8.66' (Unit 406)
8.61' (Unit 407)
8.59' (Unit 408)
8.62' (Unit 409)
8.60' (Unit 410)
3. — Indicates the limits of the units.
4. **401** Indicates the unit number designation.
5. All areas and improvements exclusive of the units are common elements of the condominium.
6. The elevations shown are based on North American Vertical Datum of 1988 (NAVD 88).
7. The exterior walkways are common elements limited for the use of the adjacent unit.
8. See sheets 17 through 36 for typical unit plans.
9. The floor plan was prepared by MelD Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.
10. The balconies shown are common elements of the condominium whose use is limited to the adjacent unit.

River Palms Riverfront, A Condominium

Fifth (Living) Floor Plan ~ North Tower



SCALE: 1"=30'

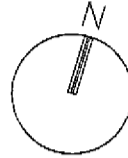
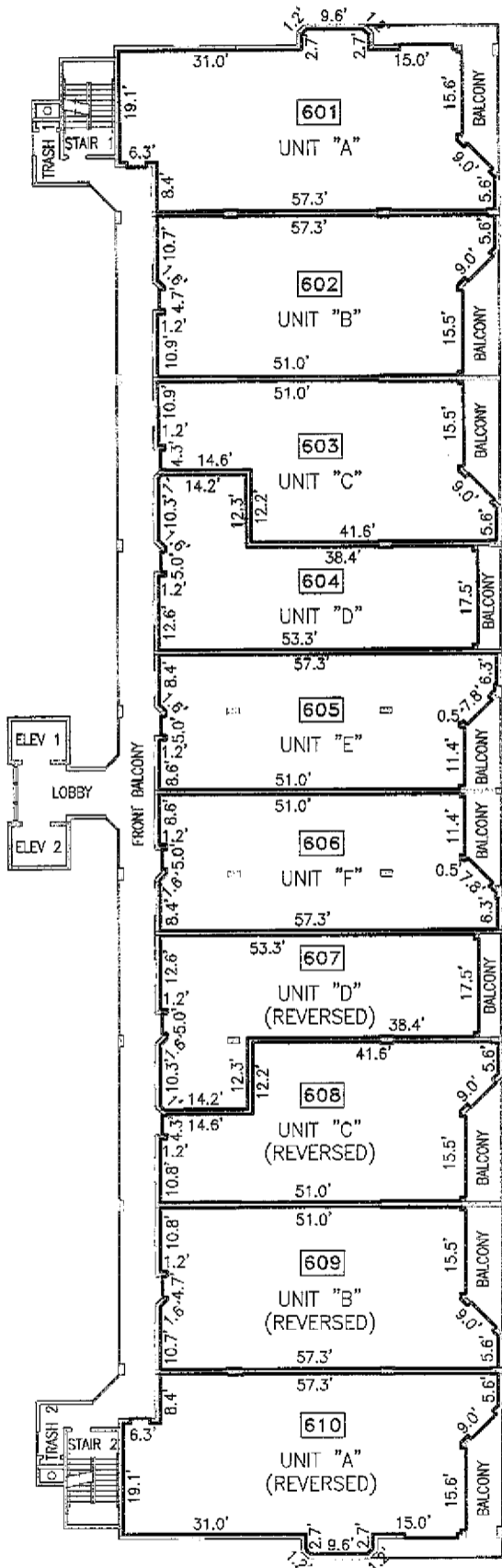
Surveyor's Notes:

1. The fifth (living) finished floor elevation is 45.11 feet.
2. The finished ceiling height is

8.60' (Unit 501)
8.60' (Unit 502)
8.61' (Unit 503)
8.62' (Unit 504)
8.63' (Unit 505)
8.60' (Unit 506)
8.61' (Unit 507)
8.60' (Unit 508)
8.64' (Unit 509)
8.59' (Unit 510)
3. ——— indicates the limits of the units.
4. **501** indicates the unit number designation.
5. All areas and improvements exclusive of the units are common elements of the condominium.
6. The elevations shown are based on North American Vertical Datum of 1988 (NAVD 88).
7. The exterior walkways are common elements limited for the use of the adjacent unit.
8. See sheets 17 through 36 for typical unit plans.
9. The floor plan was prepared by MelD Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.
10. The balconies shown are common elements of the condominium whose use is limited to the adjacent unit.

River Palms Riverfront, A Condominium

Sixth (Living) Floor Plan ~ North Tower



SCALE: 1"=30'

Surveyor's Notes:

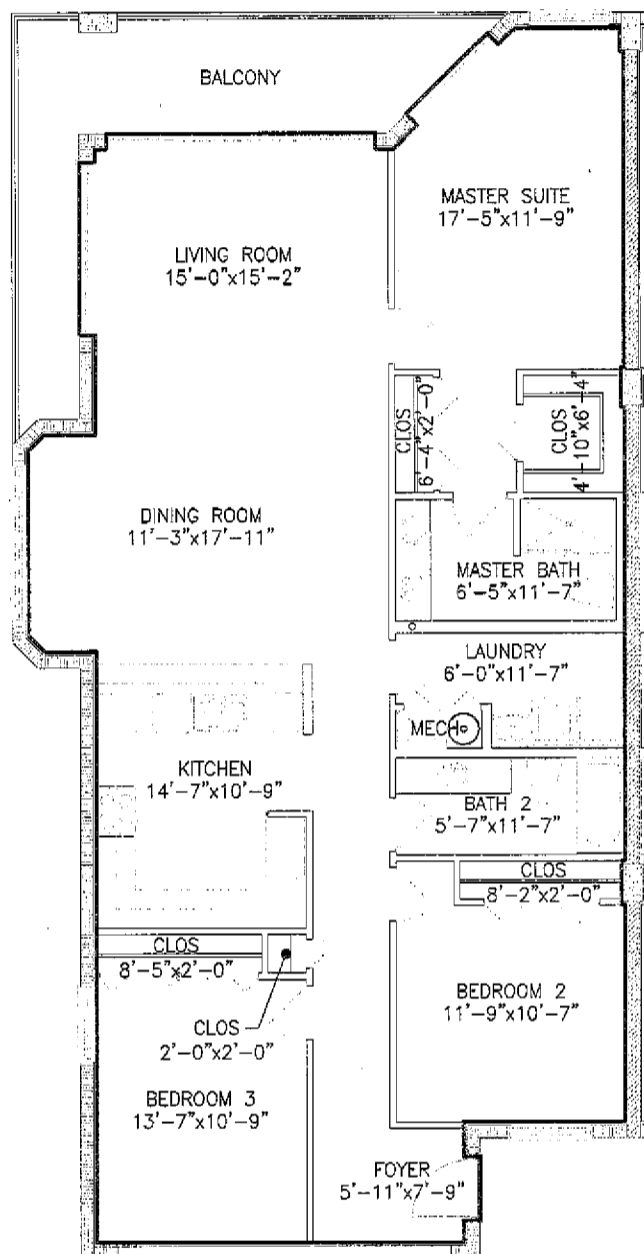
1. The sixth (living) finished floor elevation is 54.47 feet.
2. The finished ceiling height is

8.64' (Unit 601)
8.59' (Unit 602)
8.62' (Unit 603)
8.63' (Unit 604)
8.56' (Unit 605)
8.57' (Unit 606)
8.58' (Unit 607)
8.57' (Unit 608)
8.60' (Unit 609)
8.60' (Unit 610)
3. ——— Indicates the limits of the units.
4. 601 Indicates the unit number designation.
5. All areas and improvements exclusive of the units are common elements of the condominium.
6. The elevations shown are based on North American Vertical Datum of 1988 (NAVD 88).
7. The exterior walkways are common elements limited for the use of the adjacent unit.
8. See sheets 17 through 36 for typical unit plans.
9. The floor plan was prepared by MelD Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.
10. The balconies shown are common elements of the condominium whose use is limited to the adjacent unit.

River Palms Riverfront, A Condominium

Typical "A" Unit

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,747 S.F.
BALCONY SQUARE FOOTAGE: 197 S.F.

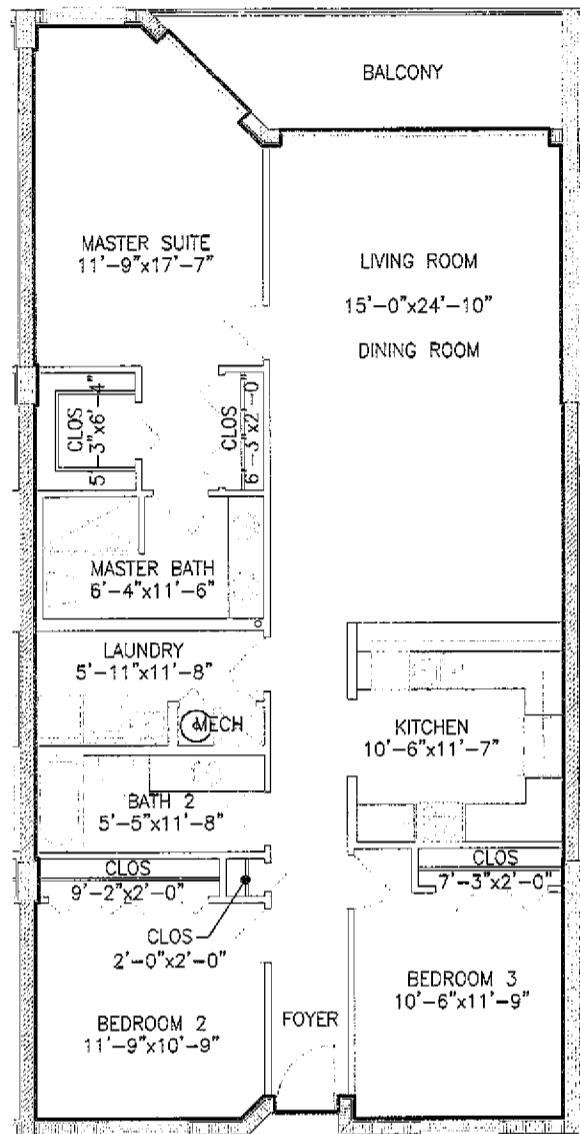
Surveyor's Notes:

1. ——— Indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MeID Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Typical "B" Unit

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,550 S.F.
BALCONY SQUARE FOOTAGE: 119 S.F.

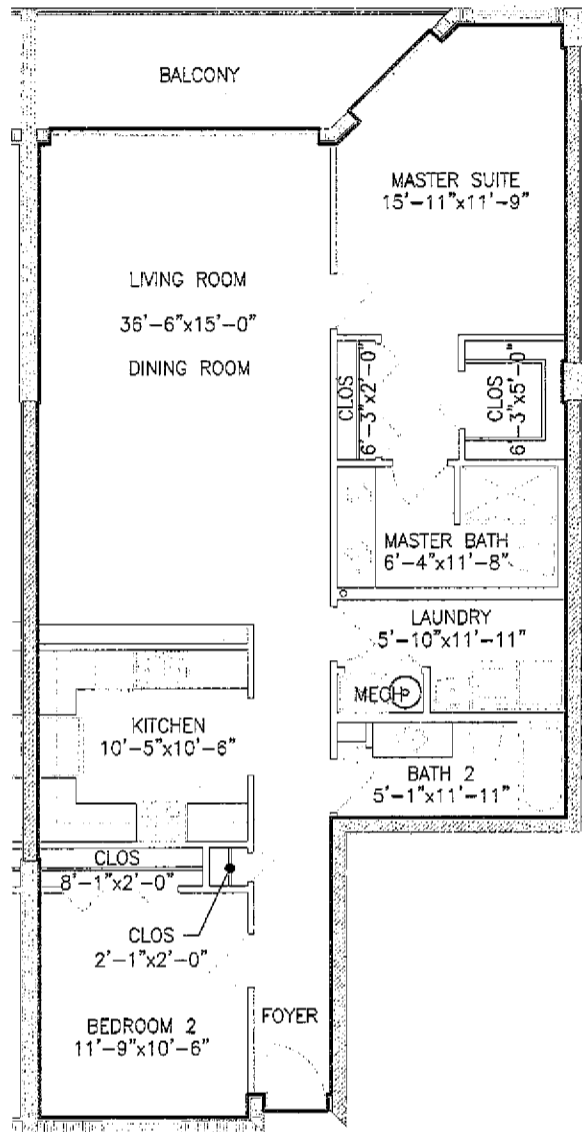
Surveyor's Notes:

1. ——— Indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MeID Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Typical "C" Unit

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,350 S.F.
BALCONY SQUARE FOOTAGE: 119 S.F.

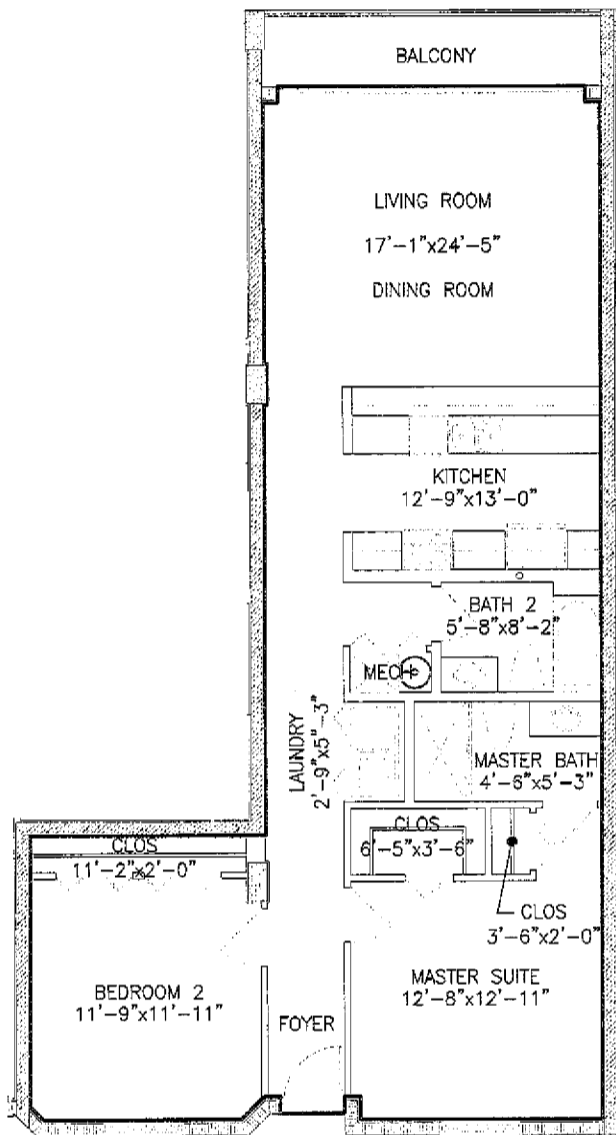
Surveyor's Notes:

1. ——— Indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MeID Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Typical "D" Unit

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,201 S.F.
BALCONY SQUARE FOOTAGE: 73 S.F.

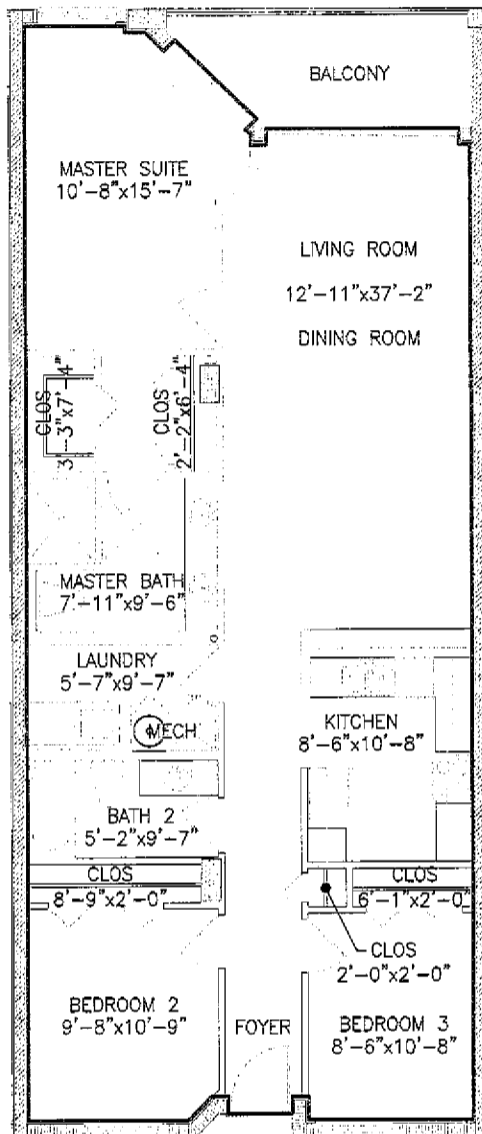
Surveyor's Notes:

1. ——— Indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MeD Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Typical "E" Unit

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,322 S.F.
BALCONY SQUARE FOOTAGE: 89 S.F.

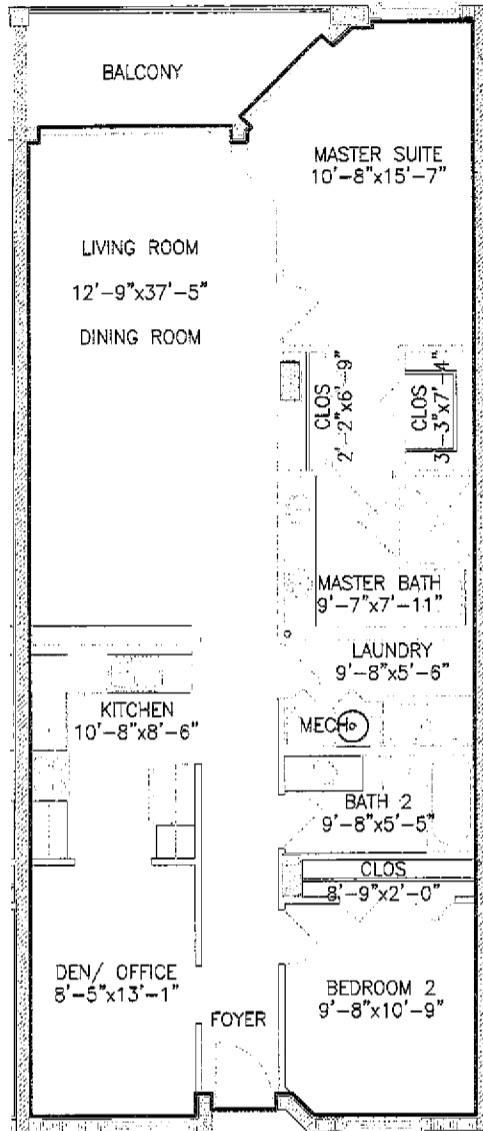
Surveyor's Notes:

1. ——— Indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MeID Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Typical "F" Unit

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,322 S.F.
BALCONY SQUARE FOOTAGE: 89 S.F.

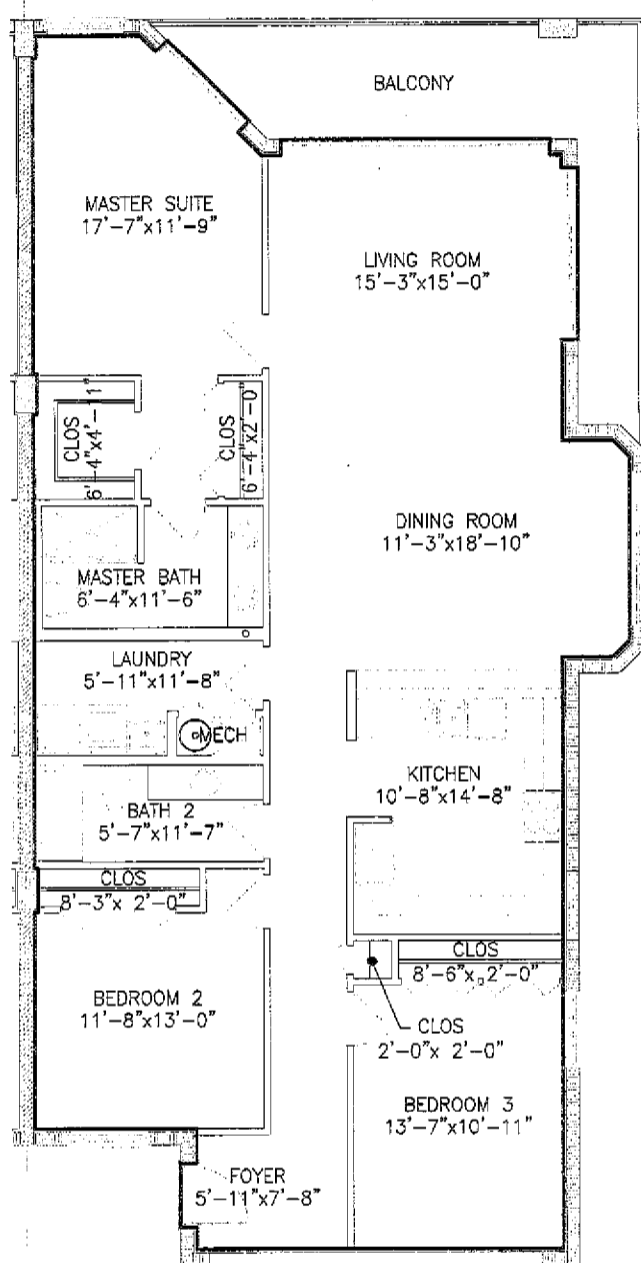
Surveyor's Notes:

1. ——— Indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MeID Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Typical "A" Unit - Reversed

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,747 S.F.
BALCONY SQUARE FOOTAGE: 197 S.F.

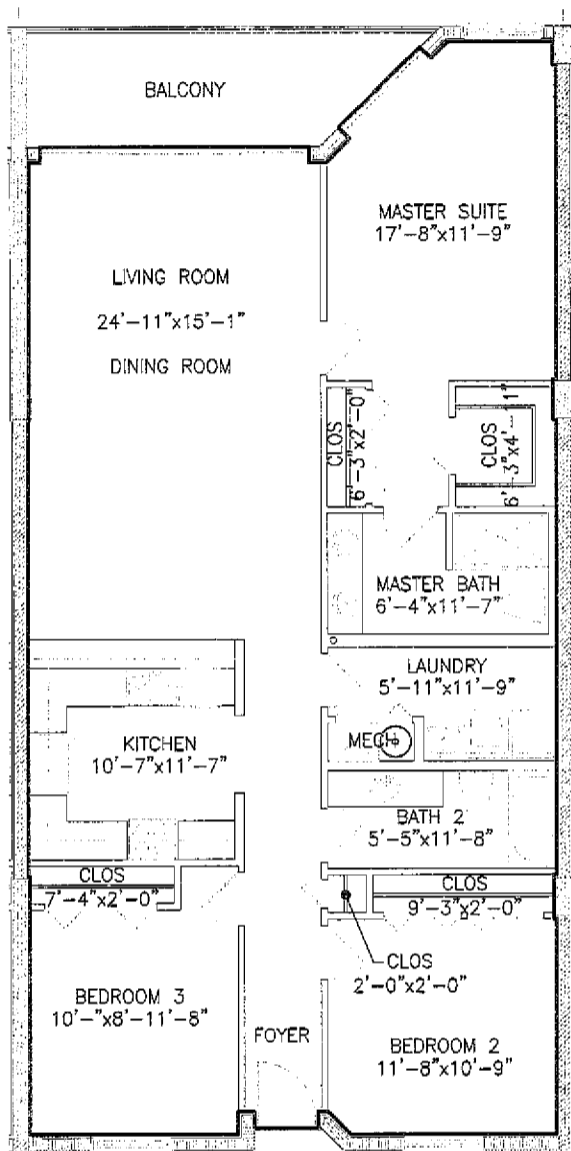
Surveyor's Notes:

1. ——— Indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MeID Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Typical "B" Unit - Reversed

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,550 S.F.
BALCONY SQUARE FOOTAGE: 119 S.F.

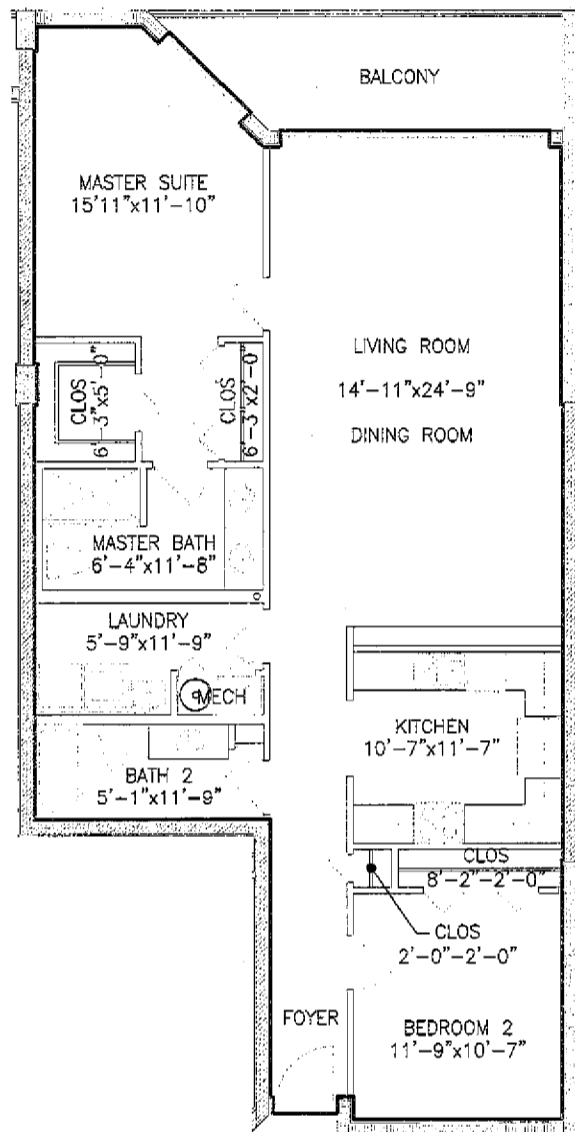
Surveyor's Notes:

1. ——— indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MeID Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Typical "C" Unit - Reversed

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,350 S.F.
BALCONY SQUARE FOOTAGE: 119 S.F.

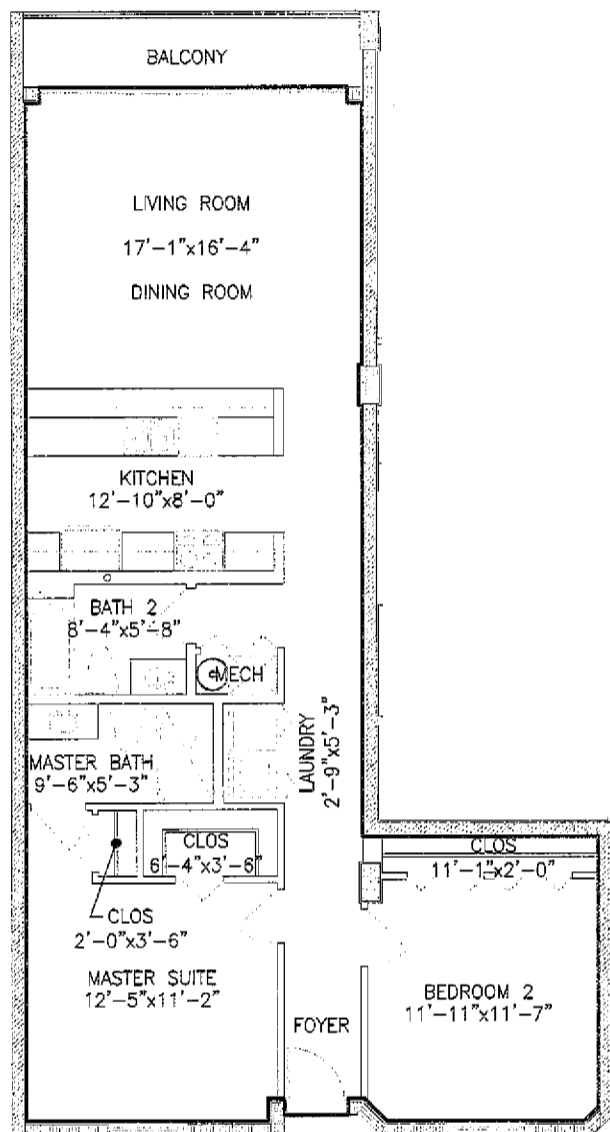
Surveyor's Notes:

1. ——— Indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MeID Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.

River Palms Riverfront, A Condominium

Typical "D" Unit - Reversed

North Tower



SCALE: 1"=10'

LIVING SQUARE FOOTAGE: 1,201 S.F.
BALCONY SQUARE FOOTAGE: 73 S.F.

Surveyor's Notes:

1. ——— Indicates the limits of the unit.
2. All areas and improvements exclusive of the unit are common elements of the condominium.
3. The unit plan shown is representational. The dimensions shown may vary.
4. Refer to the floor plan on sheets 7 through 11 for the location of this unit within the building.
5. The unit plan was prepared by MelD Studio Architecture, 1542 Guava Avenue, Unit A, Melbourne, FL 32935. This drawing was modified for this exhibit.