

**GRAPHIC SCALE**

0 50 100 200 300

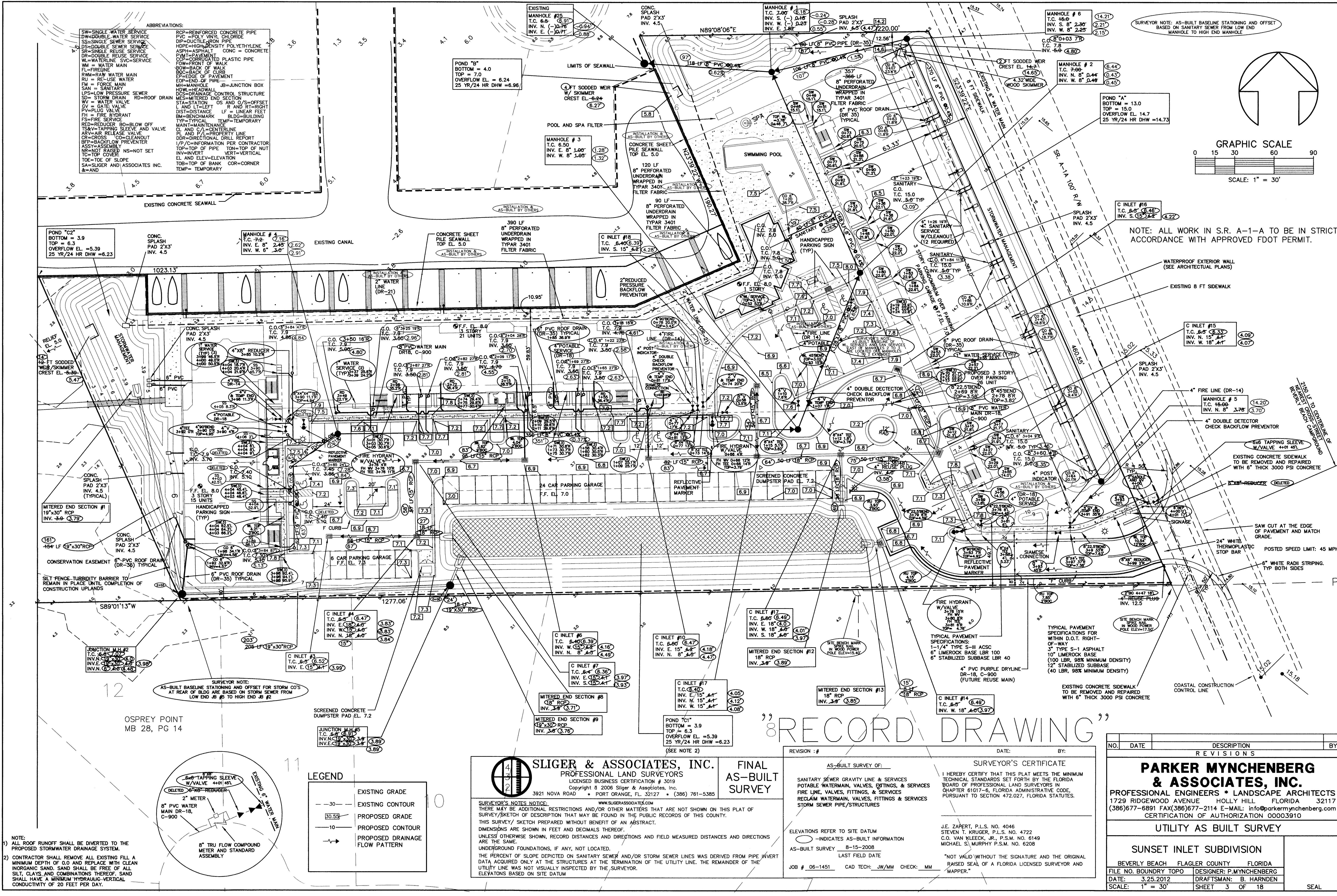
SCALE: 1" = 100'

NO.	DATE	DESCRIPTION	BY
R E V I S I O N S			
TITLE PAGE AND LOCATION MAP			
SUNSET INLET SUBDIVISION			
BEVERLY BEACH		FLAGLER COUNTY	FLORIDA
FILE NO.	02-06CS.DWG	DESIGNER:	MYNCHENBERG
DATE:	3.25.2012	DRAFTSMAN:	B. HARNOLDEN
SCALE:	AS SHOWN	SHEET	1 OF 18
			SEAL



I:\BRODE H-WORK\SUNSET BLT 2012\1108 Sunset Cover.dwg

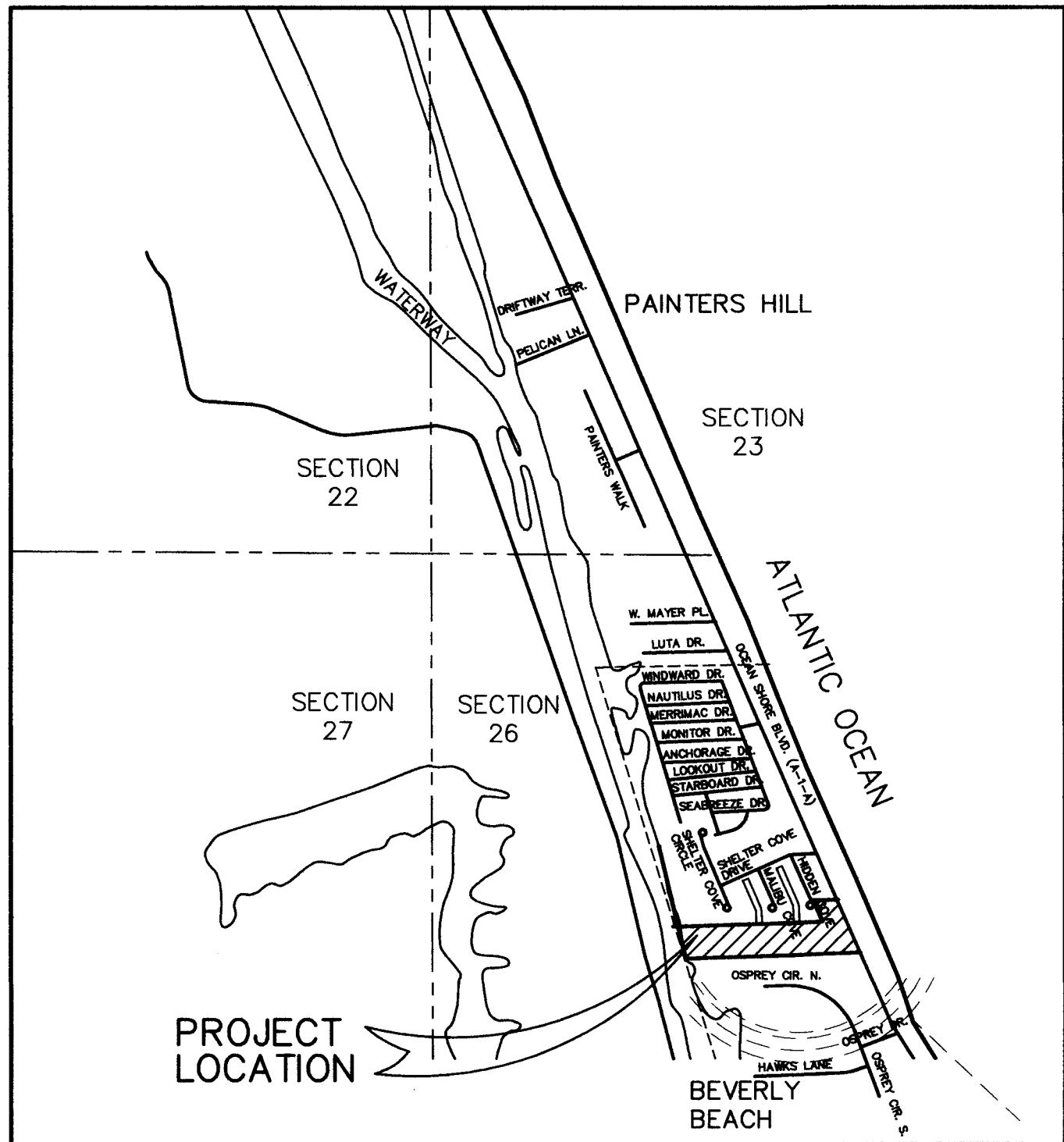




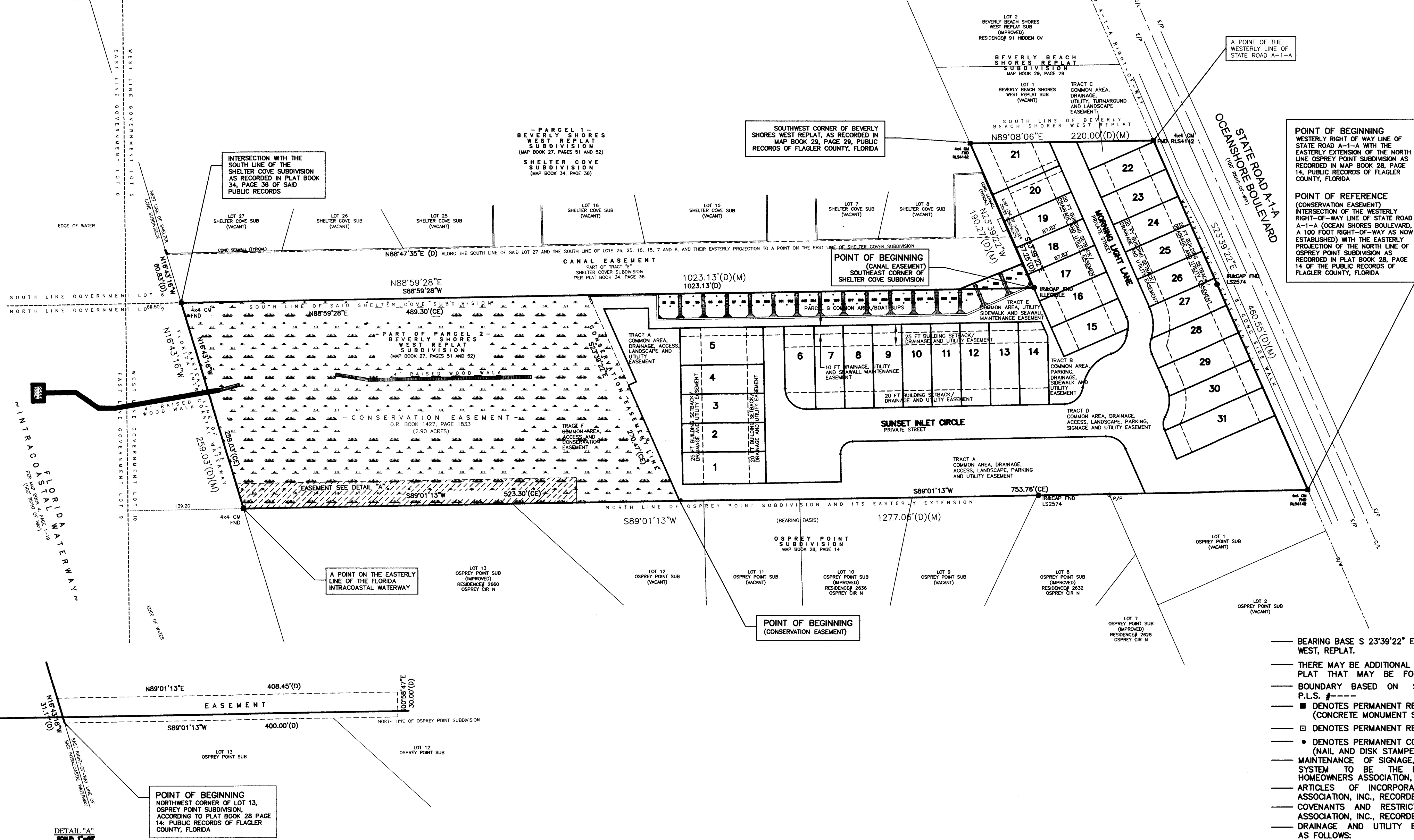
1:BRUCE, J. WORKSUNSET INLET 2012 BOUNDARY TOPOGRAPHIC PLAN.dwg, 3/20/2012 11:15:30 AM, HP Designer T11.00 44in HPGL2



# SUNSET INLET SUBDIVISION



## VICINITY MAP



### LEGAL DESCRIPTION OF FEE PARCEL:

PART OF GOVERNMENT LOT 10, SECTION 26, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, LYING WESTERLY OF STATE ROAD A-1-A, AND EASTERLY OF THE FLORIDA INTRACOASTAL WATERWAY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE INTERSECTION OF THE WESTERLY RIGHT OF WAY LINE OF STATE ROAD A-1-A WITH THE EASTERLY EXTENSION OF THE NORTH LINE OSPREY POINT SUBDIVISION AS RECORDED IN MAP BOOK 28, PAGE 14, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, THENCE SOUTH 89 DEGREES, 01'13" WEST ALONG THE SAID NORTH LINE OF OSPREY POINT SUBDIVISION AND ITS EASTERLY EXTENSION A DISTANCE OF 1277.06 FEET TO A POINT ON THE EASTERLY LINE OF THE FLORIDA INTRACOASTAL WATERWAY; THENCE NORTH 16 DEGREES 43'16" WEST ALONG SAID EASTERLY LINE A DISTANCE OF 259.03 FEET; THENCE NORTH 88 DEGREES 59'28" EAST A DISTANCE OF 1023.13 FEET; THENCE NORTH 23 DEGREES 39'22" WEST A DISTANCE OF 190.27 FEET TO THE SOUTHWEST CORNER OF BEVERLY SHORES WEST REPLAT, AS RECORDED IN MAP BOOK 29, PAGE 29, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA; THENCE NORTH 89 DEGREES 08'08" EAST ALONG THE SOUTH LINE OF SAID BEVERLY BEACH SHORES WEST REPLAT A DISTANCE OF 220.00 FEET TO A POINT ON THE WESTERLY LINE OF STATE ROAD A-1-A; THENCE SOUTH 23 DEGREES 39'22" EAST ALONG SAID WESTERLY LINE A DISTANCE OF 460.55 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS: 8.1058 ACRES, MORE OR LESS

TOGETHER WITH THAT PARTICULAR CANAL EASEMENT RECORDED IN O.R. BOOK 1157, PAGES 1423-1427 BEING DESCRIBED AS FOLLOWS:

PART OF TRACT "E", SHELTER COVE SUBDIVISION, AS RECORDED IN MAP BOOK 34, PAGE 36, PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SHELTER COVE SUBDIVISION, THENCE S88°59'28"W ALONG THE SOUTH LINE OF SAID SHELTER COVE SUBDIVISION A DISTANCE OF 1023.13 FEET TO A POINT ON THE WEST LINE OF SAID SHELTER COVE SUBDIVISION; THENCE N16°43'16"W ALONG THE SAID WEST LINE A DISTANCE OF 60.83 FEET TO THE SOUTHWEST CORNER OF LOT 27, SHELTER COVE SUBDIVISION; THENCE N88°47'35"E ALONG THE SOUTH LINE OF SAID LOT 27 AND THE SOUTH LINE OF LOTS 26, 25, 16, 15, 7 AND 8, AND THEIR EASTERLY PROJECTION TO A POINT ON THE EAST LINE OF SHELTER COVE SUBDIVISION; THENCE S23°39'22"E ALONG THE EAST LINE OF SHELTER COVE SUBDIVISION A DISTANCE OF 67.25 FEET TO THE POINT OF BEGINNING.

### CONSERVATION EASEMENT DESCRIPTION:

O.R. BOOK 1427, PAGE 1833

A PART OF PARCEL 1, BEVERLY SHORES WEST AS RECORDED IN MAP BOOK 27, PAGES 51 AND 52 OF THE PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, SAID PARCEL BEING A PART OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1134, PAGE 1075 OF SAID PUBLIC RECORDS, SAID PARCEL ALSO BEING A PART OF GOVERNMENT LOT 10, SECTION 26, TOWNSHIP 11 SOUTH, RANGE 31 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF REFERENCE COMMENCE AT THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD A-1-A (OCEAN SHORES BOULEVARD, A 100 FOOT RIGHT-OF-WAY AS NOW ESTABLISHED) WITH THE EASTERLY PROJECTION OF THE NORTH LINE OF OSPREY POINT SUBDIVISION, AS RECORDED IN PLAT BOOK 28, PAGE 14 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 89°01'13" WEST ALONG SAID EASTERLY PROJECTION AND ALONG SAID NORTH LINE OF OSPREY POINT, A DISTANCE OF 753.76 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°01'13" WEST ALONG LAST SAID LINE TO ITS INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF THE INTRACOASTAL WATERWAY (A 500 FOOT RIGHT-OF-WAY), A DISTANCE OF 523.30 FEET; THENCE NORTH 16°43'16" WEST LEAVING SAID NORTH LINE OF OSPREY POINT SUBDIVISION AND ALONG SAID EASTERLY LINE OF THE INTRACOASTAL WATERWAY TO ITS INTERSECTION WITH THE SOUTH LINE OF THE SHELTER COVE SUBDIVISION AS RECORDED IN PLAT BOOK 34, PAGE 36 OF SAID PUBLIC RECORDS, A DISTANCE 259.03 FEET; THENCE NORTH 88°59'28" EAST ALONG THE SOUTH LINE OF SAID SHELTER COVE SUBDIVISION, ALSO BEING THE NORTH LINE OF SAID GOVERNMENT LOT 10, A DISTANCE OF 489.30 FEET; THENCE SOUTH 23°39'22" EAST LEAVING SAID LINES, A DISTANCE OF 270.47 FEET TO THE POINT OF BEGINNING.

ABOVE DESCRIBED LANDS CONTAINING 2.90 ACRES MORE OR LESS.

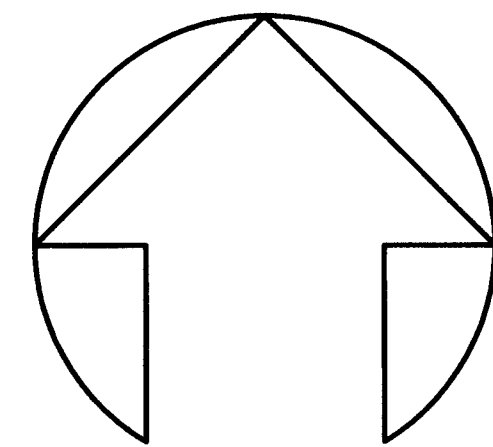
### DESCRIPTION OF EASEMENT:

(DETAIL "A")

A PORTION OF THE NORTH 250 FEET OF GOVERNMENT LOT 10, SECTION 26, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, LYING WESTERLY OF STATE ROAD A-1-A AND EASTERLY OF THE INTRACOASTAL WATERWAY (500' R/W), BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE POINT OF BEGINNING BEING THE NORTHWEST CORNER OF LOT 13, OSPREY POINT SUBDIVISION, ACCORDING TO PLAT BOOK 28 PAGE 14: PUBLIC RECORDS OF FLAGLER COUNTY, FLORIDA, BEAR N16°43'18" ALONG THE EAST RIGHT-OF-WAY LINE OF SAID INTRACOASTAL WATERWAY, A DISTANCE OF 31.17 FEET; THENCE N89°01'13"E, DEPARTING SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 408.45 FEET; THEN S00°58'47"E, A DISTANCE OF 30.00 FEET, TO THE NORTH LINE OF SAID OSPREY POINT SUBDIVISION; THENCE S89°01'13" ALONG SAID NORTH LINE A DISTANCE OF 400.00 FEET TO THE NORTHWEST CORNER OF LOT 13, AND TO POINT OF BEGINNING.

CONTAINING 0.2784 ACRES, MORE OR LESS



### GRAPHIC SCALE

0 40 80 160 240

SCALE: 1" = 80'

PLAT BOOK

PAGE

### DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, SUNSET INLET LLC, A FLORIDA CORPORATION, BEING THE OWNER IN FEE SIMPLE OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT, DOES HEREBY DEDICATE SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DEDICATE THE UTILITY EASEMENTS, DRAINAGE EASEMENTS, PRIVATE ROADWAY EASEMENTS, CONSERVATION EASEMENTS AND COMMON AREAS TO THE SUNSET INLET HOMEOWNERS ASSOCIATION, INC. IN WITNESS WHEREOF THE UNDERSIGNED HEREUNTO HAVE SET THEIR HAND AND SEAL ON THIS, \_\_\_\_\_ DAY OF \_\_\_\_\_, 2012.

SUNSET INLET LLC, A FLORIDA CORPORATION

BY: \_\_\_\_\_  
JIM CULLIS, MANAGING MEMBER

SIGNED AND SEALED IN THE PRESENCE OF: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF FLAGLER

THIS IS CERTIFY, THAT ON \_\_\_\_\_, 2012, BEFORE ME AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID, PERSONALLY APPEARED JIM CULLIS, MANAGING MEMBER OF SUNSET INLET, LLC, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING DEDICATION AND SEVERALLY ACKNOWLEDGED THE EXECUTION THEREOF TO BE FREE ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED.

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL ON THE ABOVE DATE.

MY COMMISSION EXPIRES

NOTARY PUBLIC (PRINT NAME)

COMMISSION NUMBER

### CERTIFICATE OF SURVEYOR

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING A LICENSED AND REGISTERED LAND SURVEYOR, DOES HEREBY CERTIFY THAT ON \_\_\_\_\_ HE COMPLETED THE SURVEY OF THE LANDS AS SHOWN IN THE FOREGOING PLAT, THAT SAID PLAT IS A CORRECT REPRESENTATION OF THE LANDS THEREIN DESCRIBED AND PLATTED; THAT PERMANENT REFERENCE MONUMENTS HAVE BEEN PLACED AS SHOWN THEREON AS REQUIRED BY CHAPTER 177 FLORIDA STATUTES; AND THAT SAID LAND IS LOCATED IN FLAGLER COUNTY, FLORIDA.

DATED \_\_\_\_\_

### CERTIFICATE OF APPROVAL

THIS IS TO CERTIFY THAT ON \_\_\_\_\_, THIS PLAT WAS APPROVED.

BY: \_\_\_\_\_  
CITY OF BEVERLY BEACH ATTORNEY

### CERTIFICATE OF APPROVAL BY CITY COMMISSION OF TOWN OF BEVERLY BEACH, FLORIDA

THIS IS TO CERTIFY THAT ON \_\_\_\_\_, THE FOREGOING PLAT WAS APPROVED BY THE CITY COMMISSION OF TOWN OF BEVERLY BEACH, FLORIDA.

CHAIRMAN OF THE CITY COMMISSION OF THE TOWN OF BEVERLY BEACH

ATTEST: \_\_\_\_\_  
CITY ATTORNEY OF THE TOWN OF BEVERLY BEACH AND EX-OFFICIO CLERK

### CERTIFICATE OF CLERK

I HEREBY CERTIFY THE FOREGOING PLAT WAS FILED FOR RECORD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2012 AT \_\_\_\_\_

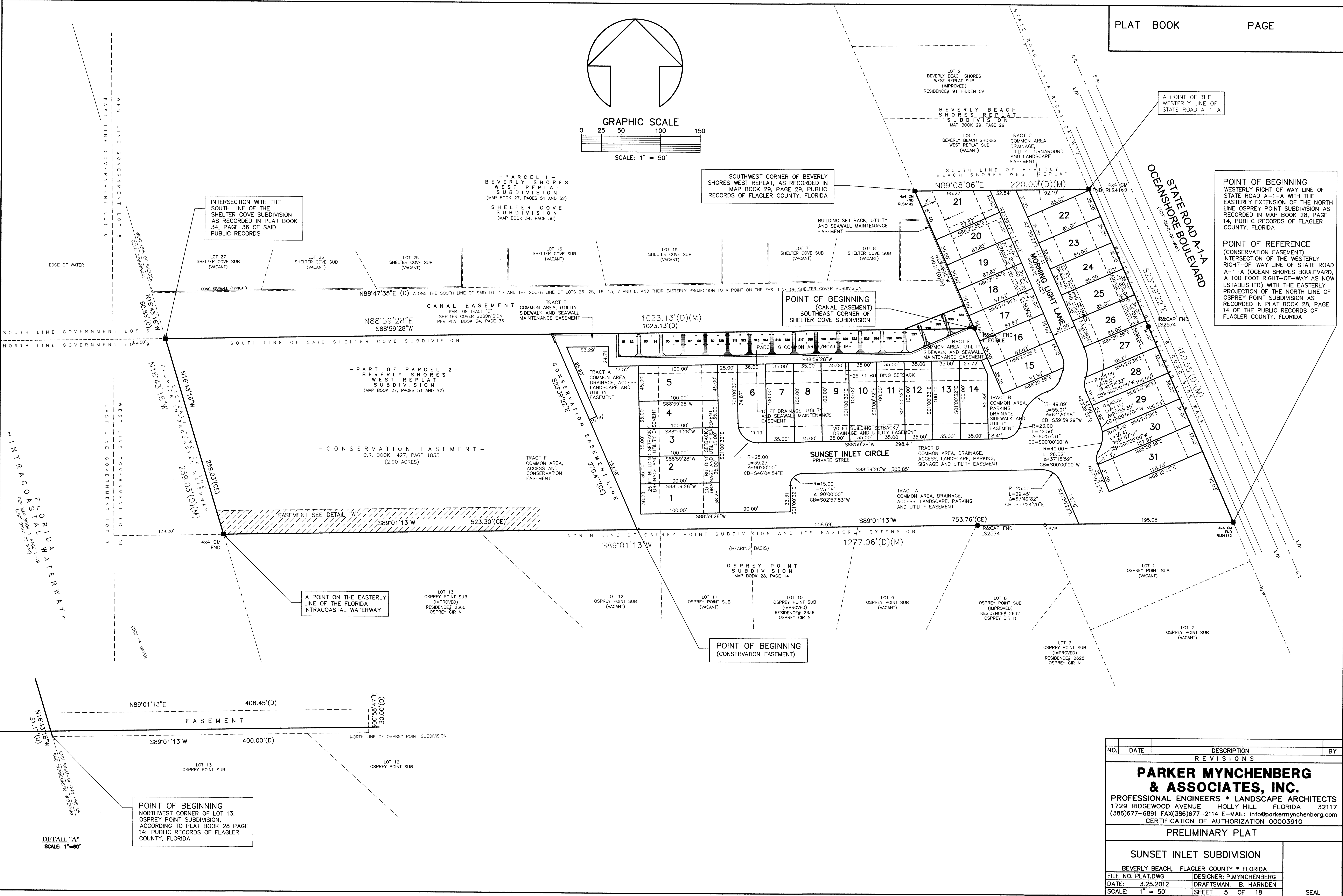
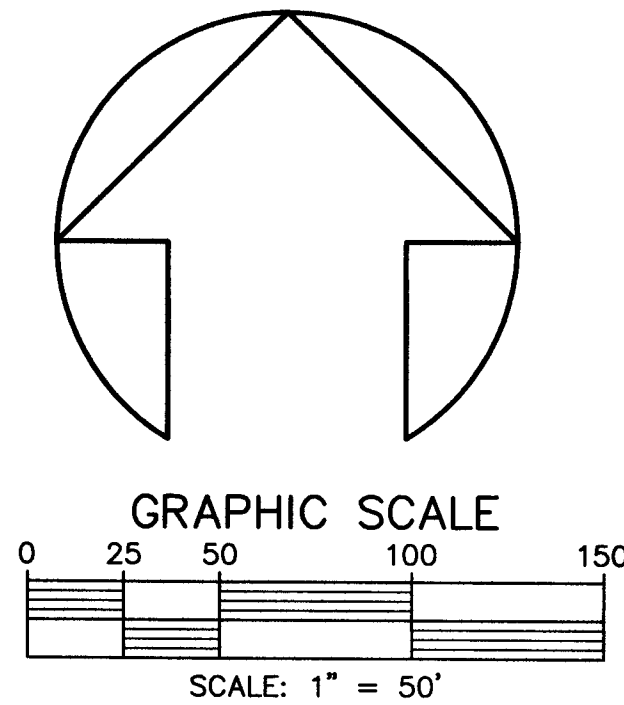
CLERK OF THE COURT  
IN AND FOR FLAGLER COUNTY, FLORIDA

### CERTIFICATE OF APPROVAL BY THE PLANNING BOARD THE TOWN OF BEVERLY BEACH PLANNING BOARD HEREBY APPROVES THE FINAL PLAT FOR THE SUNSET INLET SUBDIVISION

DATE \_\_\_\_\_  
CHAIRMAN TOWN OF BEVERLY BEACH PLANNING BOARD

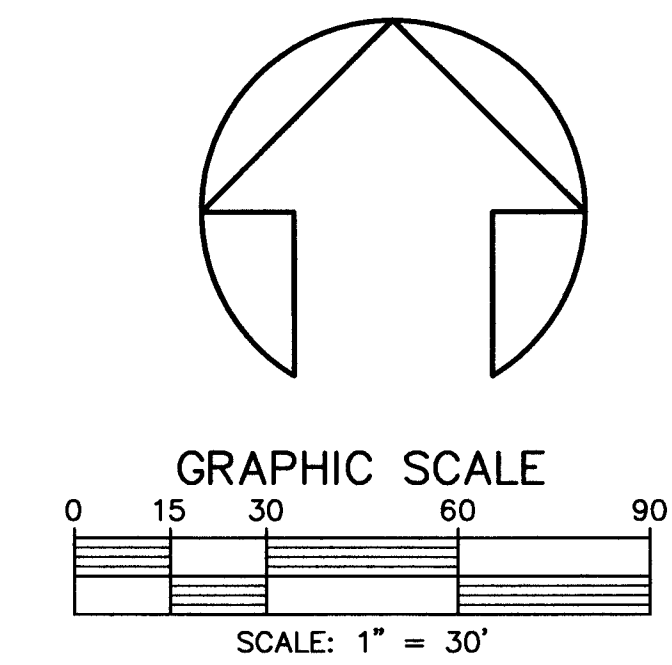
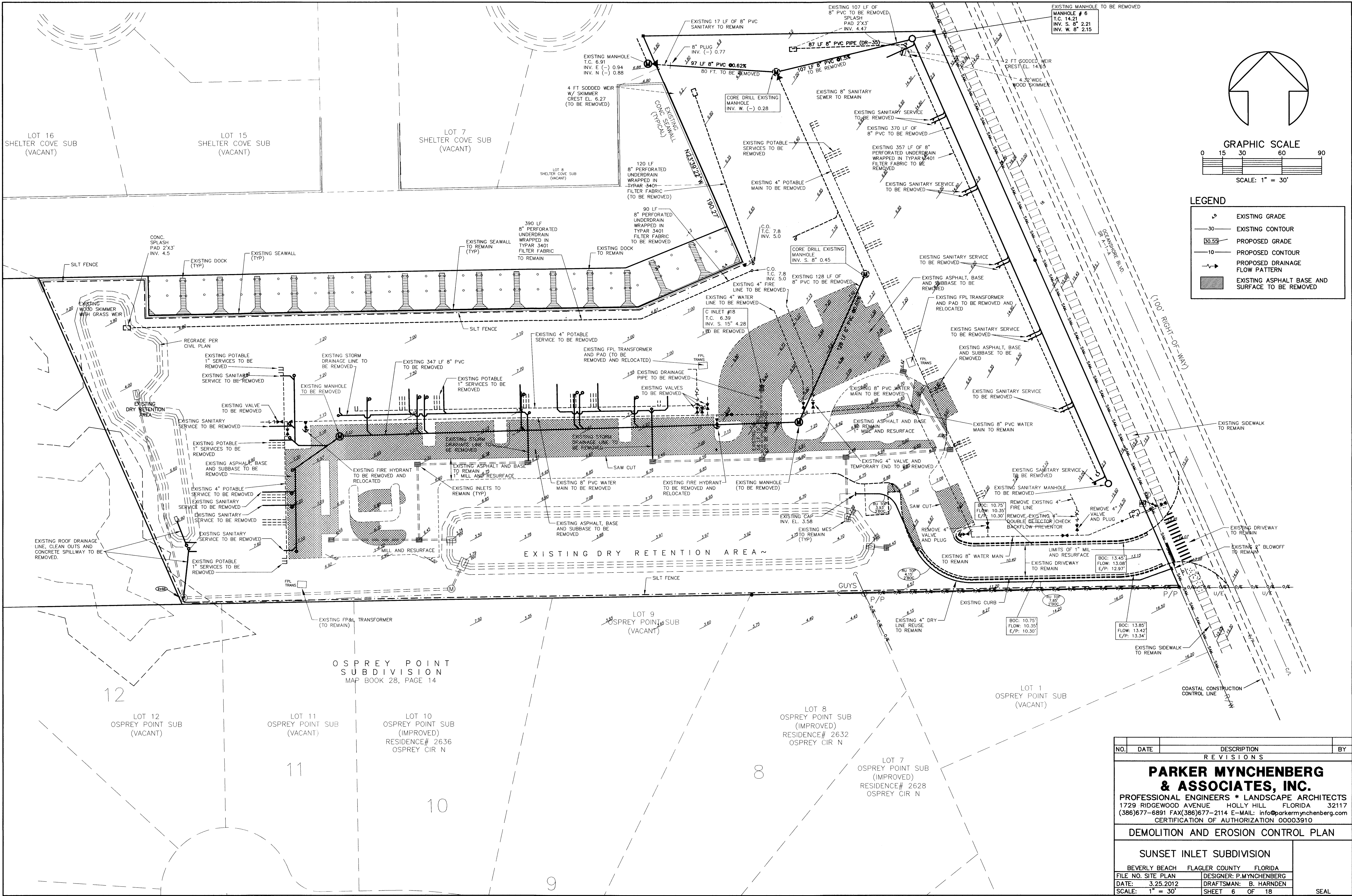
NO.	DATE	DESCRIPTION	BY
REVISIONS			
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b>			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL FLORIDA 32117			
(386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION 00003910			
PRELIMINARY PLAT			
SUNSET INLET SUBDIVISION			
BEVERLY BEACH, FLAGLER COUNTY * FLORIDA			
FILE NO. PLAT.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 3.25.2012	DRAFTSMAN: B. HARNDEN		
SCALE: 1" = 80'	SHEET 4 OF 18		
			SEAL

- BEARING BASE S 23°39'22" E ALONG THE WEST LINE OF BEVERLY SHORES WEST, REPLAT.
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF FLAGLER COUNTY.
- BOUNDARY BASED ON SURVEY PREPARED BY STEPHENSON, WILCOX & ASSOC., INC. P.L.S. #-----
- ■ DENOTES PERMANENT REFERENCE MONUMENTS SET (CONCRETE MONUMENT STAMPED RLS #-----)
- □ DENOTES PERMANENT REFERENCE MONUMENTS SET
- \* DENOTES PERMANENT CONTROL POINT (NAIL AND DISK STAMPED RLS #-----)
- MAINTENANCE OF SIGNAGE, COMMON AREAS AND STORMWATER MANAGEMENT SYSTEM TO BE THE RESPONSIBILITY OF THE SHELTER COVE HOMEOWNERS ASSOCIATION, INC.
- ARTICLES OF INCORPORATION, SUNSET INLET HOMEOWNERS ASSOCIATION, INC., RECORDED IN O.R. BOOK \_\_\_\_\_ PAGE \_\_\_\_\_
- COVENANTS AND RESTRICTIONS, SUNSET INLET HOMEOWNERS ASSOCIATION, INC., RECORDED IN O.R. BOOK \_\_\_\_\_ PAGE \_\_\_\_\_
- DRAINAGE AND UTILITY EASEMENTS, EXCEPT AS SHOWN, ARE PROVIDED AS FOLLOWS:
  - 10 FT. ALONG FRONT LOT LINES
  - 5 FT. ALONG SIDE LOT LINES (10 FT. TOTAL WITH ADJACENT LOT)
- CONSERVATION EASEMENT DESCRIPTION: NO CLEARING ALLOWED PER FLORIDA STATE STATUTES, CHAPTER 704.06.



NO.	DATE	DESCRIPTION	BY
REVISIONS			
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b>			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATION OF AUTHORIZATION 00003910			
PRELIMINARY PLAT			
SUNSET INLET SUBDIVISION			
BEVERLY BEACH, FLAGLER COUNTY * FLORIDA			
FILE NO. PLAT.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 3.25.2012	DRAFTSMAN: B. HARNDEN		
SCALE: 1" = 50'	SHEET 5 OF 18		
SEAL			

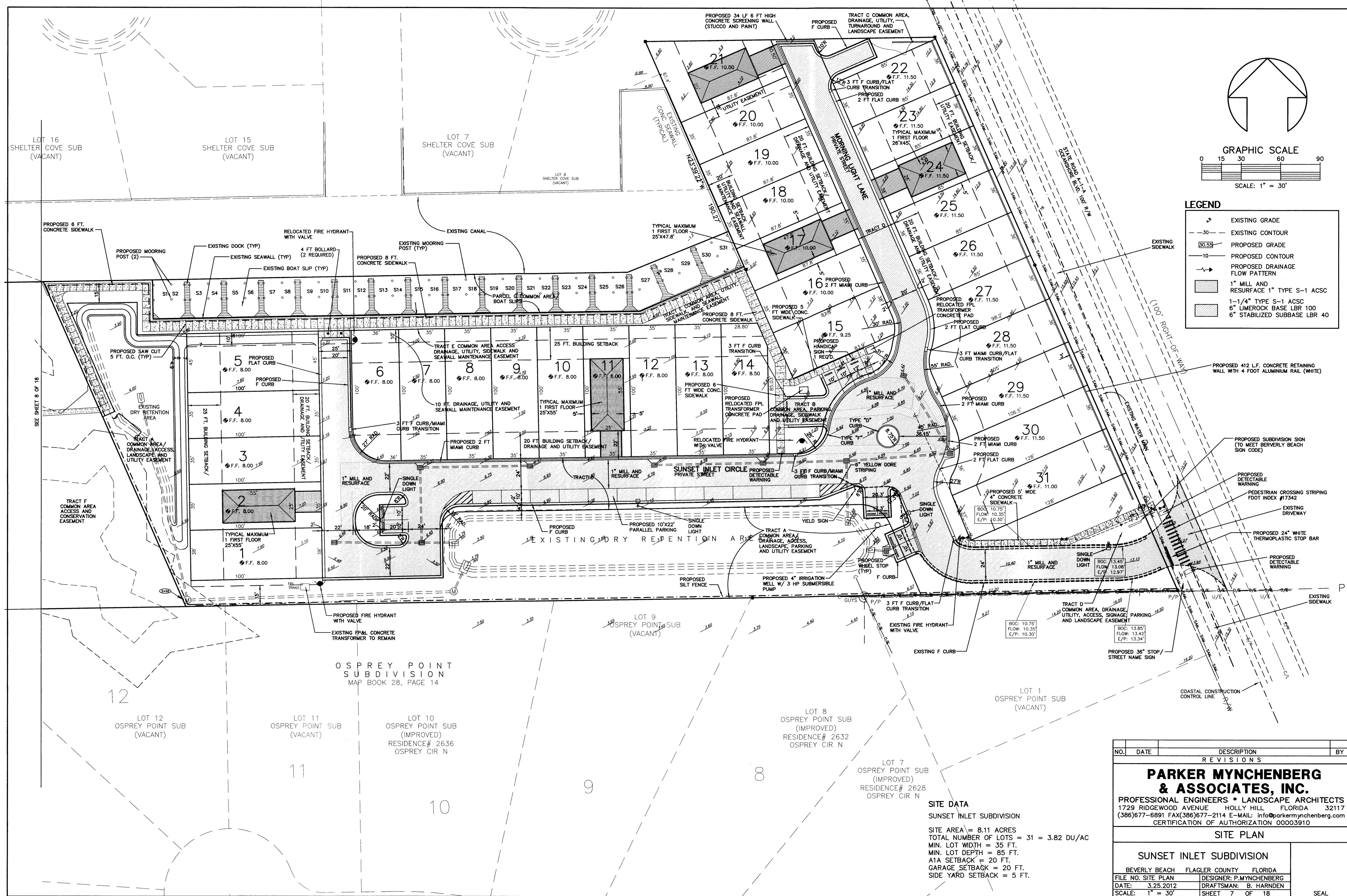
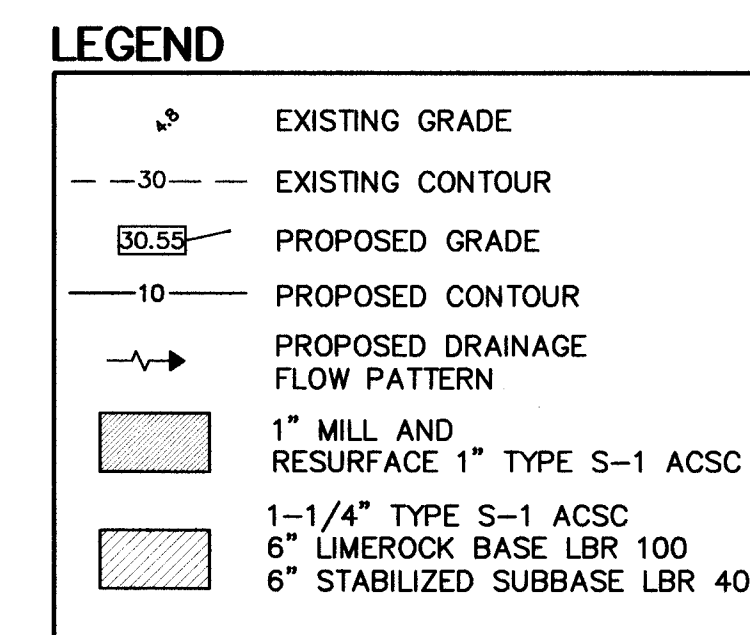




LEGEND	
	EXISTING GRADE
	EXISTING CONTOUR
	PROPOSED GRADE
	PROPOSED CONTOUR
	PROPOSED DRAINAGE FLOW PATTERN
	EXISTING ASPHALT BASE AND SURFACE TO BE REMOVED

NO.	DATE	DESCRIPTION	BY
R E V I S I O N S			
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b>			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE      HOLLY HILL      FLORIDA      32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATION OF AUTHORIZATION 00003910			
<b>DEMOLITION AND EROSION CONTROL PLAN</b>			
<b>SUNSET INLET SUBDIVISION</b>			
BEVERLY BEACH		FLAGLER COUNTY      FLORIDA	
FILE NO. SITE PLAN		DESIGNER: P.MYNCHENBERG	
DATE: 3.25.2012		DRAFTSMAN: B. HARNDEN	
SCALE: 1" = 30'		SHEET 6 OF 18	
		SEAL	

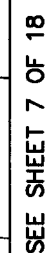
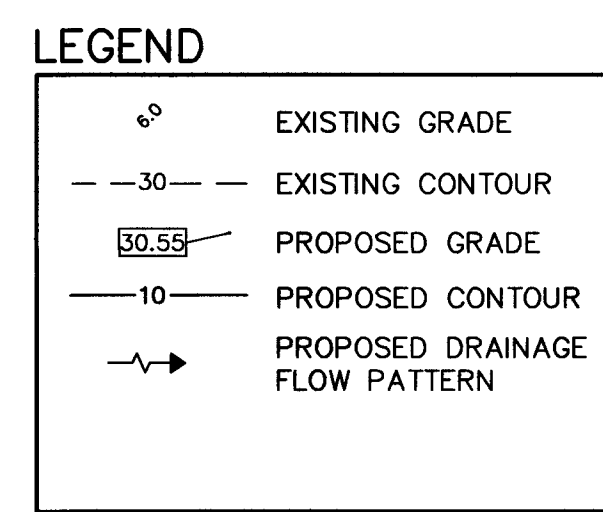




NO.	DATE	DESCRIPTION	BY
R E V I S I O N S			
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b> PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1728 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATION OF AUTHORIZATION 00003910			
SITE PLAN			
SUNSET INLET SUBDIVISION			
BEVERLY BEACH		FLAGLER COUNTY FLORIDA	
FILE NO. SITE PLAN	DESIGNER: P.MYNNCHENBERG		
DATE: 3.25.2012	DRAFTSMAN: B. HARNDEN		
SCALE: 1" = 30'	SHEET 7 OF 18		SEAL

**SITE DATA**  
SUNSET INLET SUBDIVISION

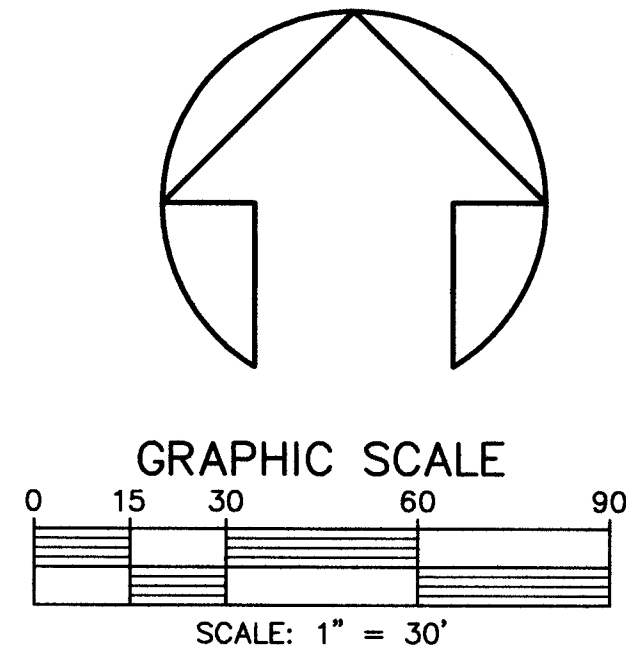
SITE AREA = 8.11 ACRES  
TOTAL NUMBER OF LOTS = 31 = 3.82 DU/AC  
MIN. LOT WIDTH = 35 FT.  
MIN. LOT DEPTH = 85 FT.  
A1A SETBACK = 20 FT.  
GARAGE SETBACK = 20 FT.  
SIDE YARD SETBACK = 5 FT.



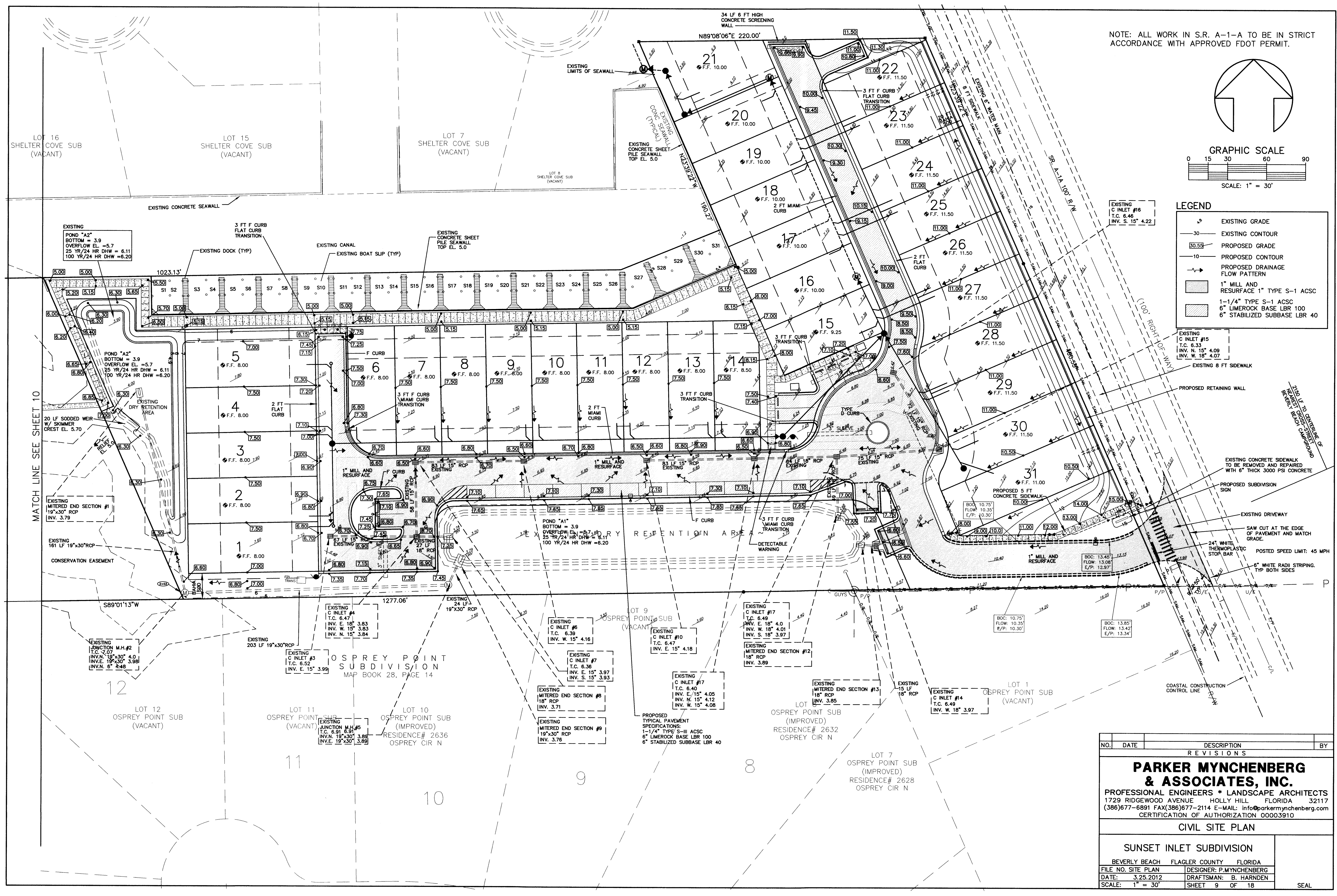
NO.	DATE	DESCRIPTION		BY
R E V I S I O N S				
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b> PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATION OF AUTHORIZATION 00003910				
SITE PLAN				
SUNSET INLET SUBDIVISION				
BEVERLY BEACH		FLAGLER COUNTY		FLORIDA
FILE NO.	DESIGNER: P-MYNCHENBERG			
DATE: 3.25.2012	DRAFTSMAN: B. HARDEN			
SCALE: 1" = 30'	SHEET 8		OF 18	
				SEAL



NOTE: ALL WORK IN S.R. A-1-A TO BE IN STRICT ACCORDANCE WITH APPROVED FDOT PERMIT.



- LEGEND**
- EXISTING GRADE
  - EXISTING CONTOUR
  - PROPOSED GRADE
  - PROPOSED CONTOUR
  - PROPOSED DRAINAGE FLOW PATTERN
  - 1" MILL AND RESURFACE 1" TYPE S-1 ACSC
  - 1-1/4" TYPE S-1 ACSC
  - 6" LIMEROCK BASE LBR 100
  - 6" STABILIZED SUBBASE LBR 40

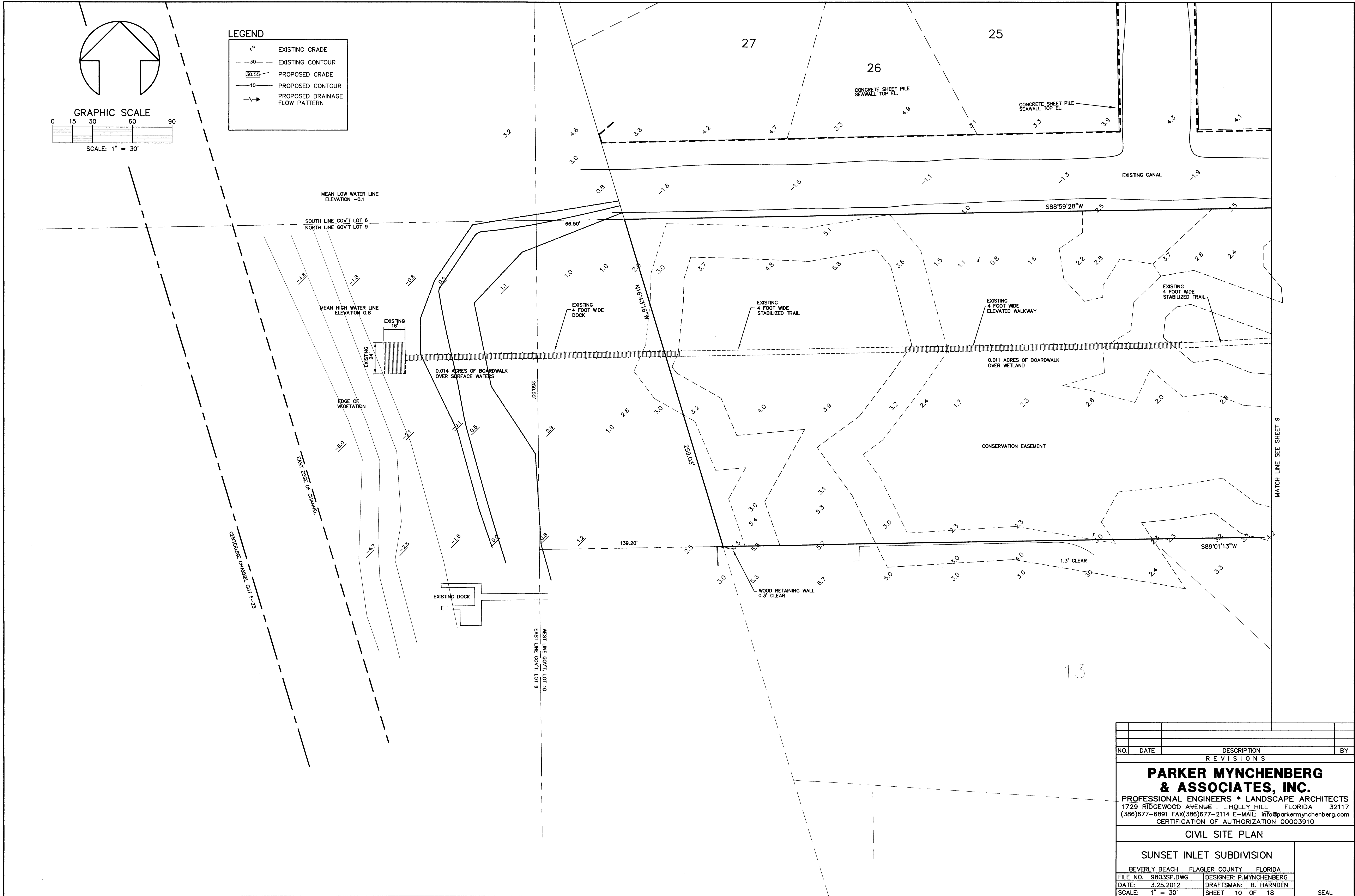


NO.	DATE	DESCRIPTION	BY
REVISIONS			
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b>			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL FLORIDA 32117			
(386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATION OF AUTHORIZATION 00003910			
CIVIL SITE PLAN			
SUNSET INLET SUBDIVISION			
BEVERLY BEACH FLAGLER COUNTY FLORIDA			
FILE NO. SITE PLAN		DESIGNER: P.MYNCHENBERG	
DATE: 3.25.2012		DRAFTSMAN: B. HARNDEN	
SCALE: 1" = 30'		SHEET 9 OF 18	
			SEAL

T:\BRUCE\_H\WORK\SUNSET INLET 2012\base-aug-22-2011.dwg, 3/20/2012 10:52:29 AM, HP Designplot T1100 44in HPGL2a.pc3

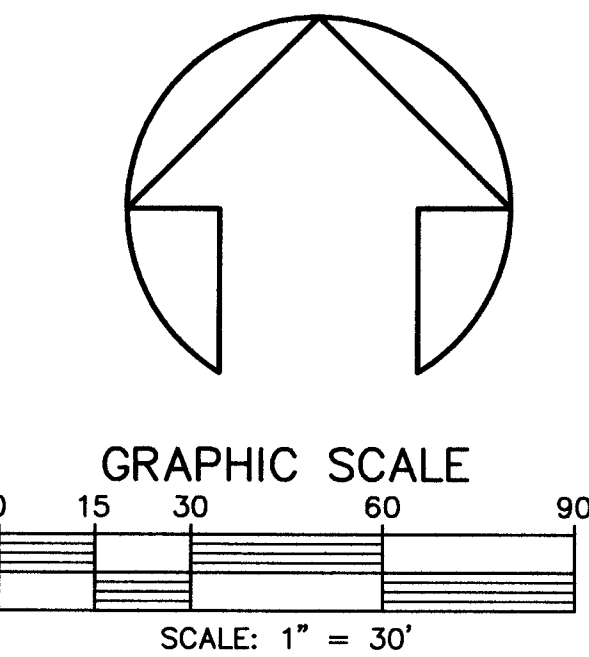


D:\BRUCE\_H\WORK\SUNSET\INLET 2012\base-aug12-2011.dwg, 3/20/2012 10:40:05 AM, HP DesignJet T1100 44in HPGL2a.pc3



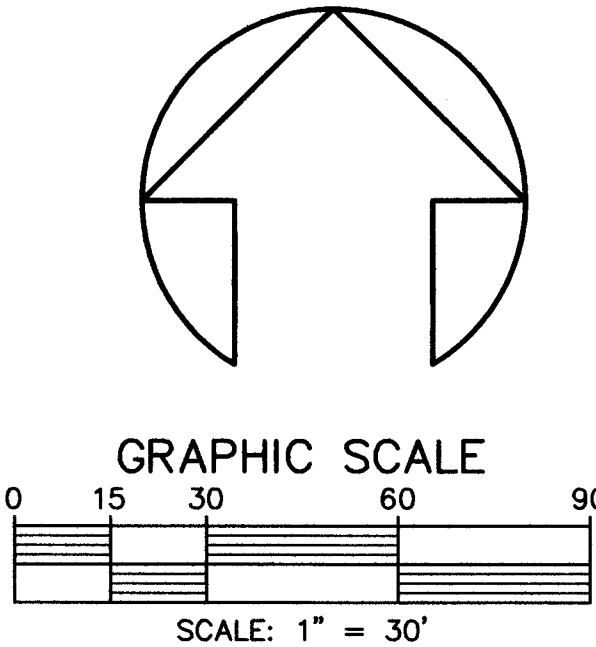
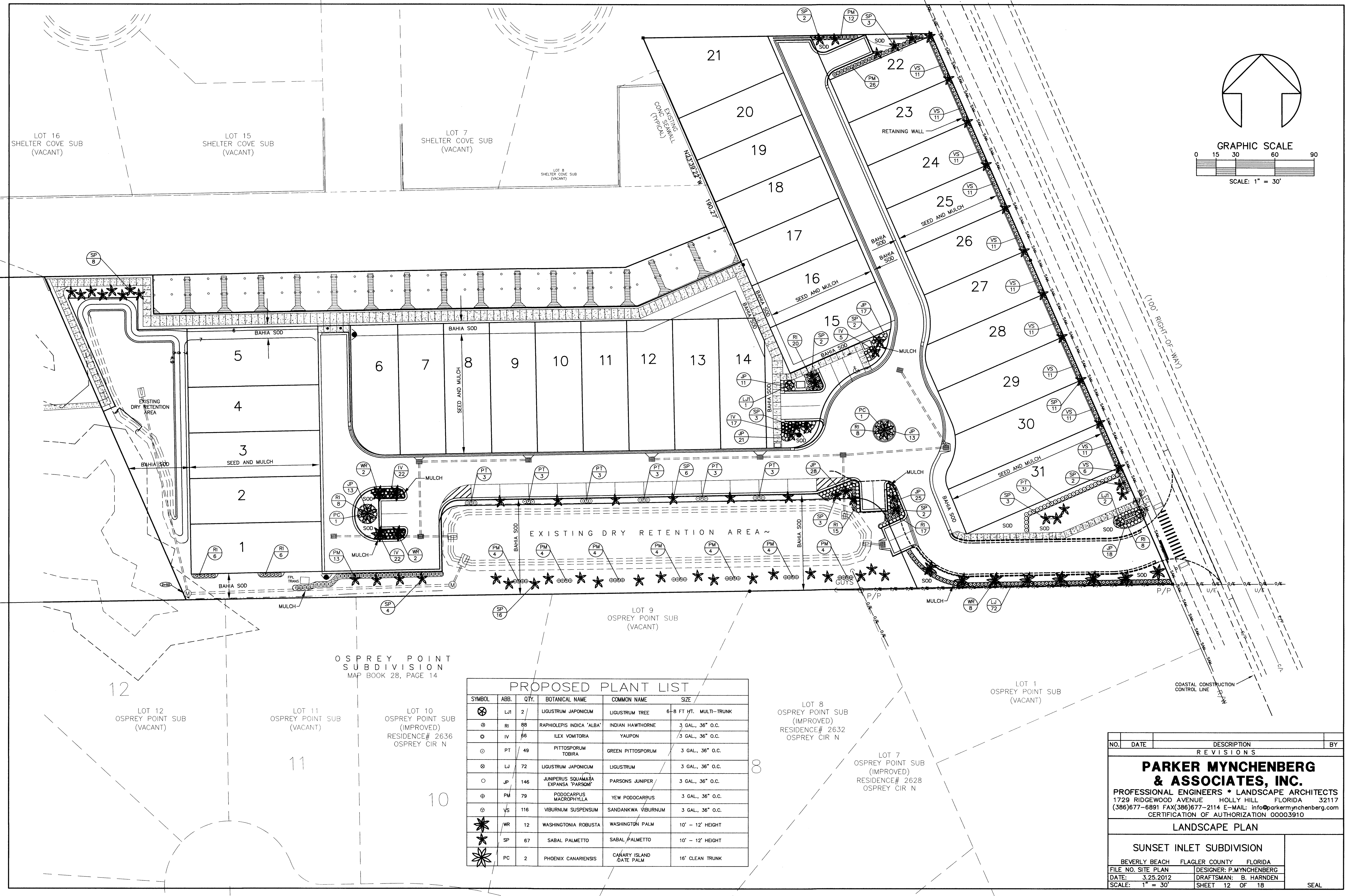
NO.		DATE	DESCRIPTION	BY
REVISIONS				
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b>				
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS				
1729 RIDGEWOOD AVENUE - HOLLY HILL, FLORIDA 32117				
(386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com				
CERTIFICATION OF AUTHORIZATION 00003910				
CIVIL SITE PLAN				
SUNSET INLET SUBDIVISION				
BEVERLY BEACH FLAGLER COUNTY FLORIDA				
FILE NO.	9803SP.DWG	DESIGNER:	P.MYNCHENBERG	
DATE:	3.25.2012	DRAFTSMAN:	B. HARNDEN	
SCALE:	1" = 30'	SHEET	10 OF 18	SEAL





NO.	DATE	DESCRIPTION		BY
R E V I S I O N S				
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b> PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATION OF AUTHORIZATION 00003910				
UTILITY SITE PLAN				
SUNSET INLET SUBDIVISION				
BEVERLY BEACH		FLAGLER COUNTY		FLORIDA
FILE NO. SITE PLAN	DESIGNER: P.MYNNCHENBERG			
DATE: 3.25.2012	DRAFTSMAN: B. HARNDEN			
SCALE: 1" = 30'	SHEET 11		OF 18	
				SEAL





OSPREY POINT  
SUBDIVISION  
MAP BOOK 28, PAGE 14

PROPOSED PLANT LIST					
SYMBOL	ABB.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	LJ1	2	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE	6-8 FT HT. MULTI-TRUNK
	RI	88	RAPHIOLEPIS INDICA 'ALBA'	INDIAN HAWTHORNE	3 GAL., 36" O.C.
	IV	66	ILEX VOMITORIA	YAUPOON	3 GAL., 36" O.C.
	PT	49	PITTOSPORUM TOBIRA	GREEN PITTOSPORUM	3 GAL., 36" O.C.
	LJ	72	LIGUSTRUM JAPONICUM	LIGUSTRUM	3 GAL., 36" O.C.
	JP	146	JUNIPERUS squamata expansa 'PARSON'	PARSONS JUNIPER	3 GAL., 36" O.C.
	PM	79	PODOCARPUS MACROPHYLLA	YEW PODOCARPUS	3 GAL., 36" O.C.
	VS	116	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL., 36" O.C.
	WR	12	WASHINGTONIA ROBUSTA	WASHINGTON PALM	10' - 12' HEIGHT
	SP	67	SABAL PALMETTO	SABAL PALMETTO	10' - 12' HEIGHT
	PC	2	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	16' CLEAN TRUNK

NO.	DATE	DESCRIPTION		BY
R E V I S I O N S				
PARKER MYNCHENBERG & ASSOCIATES, INC.				
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS				
1729 RIDGEWOOD AVENUE		HOLLY HILL		FLORIDA 32117
(386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com				
CERTIFICATION OF AUTHORIZATION 00003910				
LANDSCAPE PLAN				
SUNSET INLET SUBDIVISION				
BEVERLY BEACH		FLAGLER COUNTY		FLORIDA
FILE NO. SITE PLAN		DESIGNER: P.MYNCHENBERG		
DATE: 3.25.2012		DRAFTSMAN: B. HARNDEN		
SCALE: 1" = 30'		SHEET 12 OF 18		SEAL



DIVISION 2 - SITE CONSTRUCTION

02490 - TREES, PLANTS, AND GROUND COVERS

PART 1 - GENERAL

- 1.01 - DESCRIPTION OF WORK
- A. PROVIDE TREES, PLANTS, AND GROUND COVERS AS SPECIFIED. THE WORK INCLUDES:
1. SOIL PREPARATION.
  2. TREES, PLANTS, GROUND COVERS.
  3. PLANTING MIXES.
  4. MULCH AND PLANTING ACCESSORIES.
  5. MAINTENANCE.
- B. RELATED WORK
1. SECTION 02100 SITE PREPARATION.
  2. SECTION 02480 SODDING
  3. SECTION 02810 LANDSCAPE IRRIGATION

- 1.02 - QUALITY ASSURANCE
- A. PLANT NAMES INDICATED COMPLY WITH "STANDARDIZED PLANT NAMES" AS ADOPTED BY THE LATEST EDITION OF THE AMERICAN JOINT COMMITTEE OF HORTICULTURAL NOMENCLATURE (SEE SECTION 4.0 FOR ACCEPTABLE PLANTS). NAMES OF VARIETIES NOT LISTED CONFORM GENERALLY WITH NAMES ACCEPTED BY THE NURSERY TRADE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED.
- B. PLANT MATERIAL SHALL BE GRADED FLORIDA NO. 1 OR BETTER AS OUTLINED UNDER GRADES AND STANDARDS FOR NURSERY PLANTS, STATE PLANT BOARD OF FLORIDA.
- C. STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST, AND PROVIDING THAT LARGER PLANTS WILL NOT BE CUT BACK TO SIZE INDICATED.

- 1.03 - SUBMITTALS
- A. SUBMIT THE FOLLOWING MATERIAL SAMPLES:
1. MULCH
  2. PLANTING ACCESSORIES
- B. SUBMIT CERTIFICATIONS FOR THE FOLLOWING MATERIALS:
1. TOPSOIL, SOURCE AND PH VALUE
  2. PEAT MOSS
  3. PLANT FERTILIZER

- 1.04 - DELIVERY, STORAGE, & HANDLING
- A. DELIVER FERTILIZER MATERIALS IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.

TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL, THE CERTIFICATE SHALL BE FILED WITH THE OWNER OR LANDSCAPE ARCHITECT. PROTECT ALL PLANTS FROM DRYING OUT. IF PLANTS CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, PROPERLY PROTECT THEM WITH SOIL, WET PEAT MOSS, OR IN A MANNER ACCEPTABLE TO THE OWNER OR LANDSCAPE ARCHITECT. WATER HEELED-IN PLANTS DAILY. NO PLANT SHALL BE:

- A. BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- B. COVER PLANTS TRANSPORT ON OPEN VEHICLE WITH A PROTECTIVE COVERING TO PREVENT WINDBURN.
- C. MOWING CLEARANCE MUST BE MAINTAINED AT A MINIMUM OF 10 FEET FROM ANY TREE TO CURB OR SIDEWALK TO BUILDING, ETC.

- 1.05 - PROJECT CONDITIONS
- A. WORK NOTIFICATION: NOTIFY OWNER AT LEAST 5 WORKING DAYS PRIOR TO INSTALLATION OF PLANT MATERIAL.
- B. PROTECT EXISTING UTILITIES, PAVING, AND OTHER FACILITIES FROM DAMAGE CAUSED BY LANDSCAPING OPERATIONS. DAMAGE TO EXISTING UTILITIES WILL BE IMMEDIATELY REPAIRED AT NO EXPENSE TO OWNER.
- C. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS TO BE SHOWN ON THE PROJECT DRAWINGS. ERAU STANDARD LANDSCAPE PLANT LIST IS FOUND IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
- D. IF THE IRRIGATION SYSTEM IS TO BE CHANGED, OR IS NEW, THIS SYSTEM WILL BE INSTALLED PRIOR TO PLANTING. LOCATE, PROTECT, AND MAINTAIN THE IRRIGATION SYSTEM DURING THE PLANTING OPERATIONS. REPAIR IRRIGATION SYSTEM COMPONENTS DAMAGED DURING PLANTING OPERATIONS, AT LANDSCAPE CONTRACTOR'S EXPENSE.

- 1.06 - WARRANTY
- A. WARRANT PLANT MATERIAL TO REMAIN ALIVE AND IN HEALTHY AND VIGOROUS CONDITION FOR A PERIOD OF ONE YEAR AFTER COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
1. INSPECTION OF PLANTS WILL BE MADE BY THE OWNER OR THE ARCHITECT AT COMPLETION OF PLANTING.
- B. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR, AS DETERMINED BY THE OWNER OR LANDSCAPE ARCHITECT, ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR OTHER CAUSES DUE TO THE CONTRACTOR'S NEGLIGENCE. THE COST OF SUCH REPLACEMENT (S) IS AT CONTRACTOR'S EXPENSE. WARRANT ALL REPLACEMENT PLANTS FOR ONE YEAR AFTER INSTALLATION.
- C. WARRANTY SHALL NOT INCLUDE DAMAGE OR LOSS OF TREES, PLANTS, OR GROUND COVERS CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTNING STORMS, OR WINDS OVER 10 MILES PER HOUR. WINTER KILL CAUSED BY EXTREME COLD AND SEVER WINTER CONDITIONS NOT TYPICAL OF PLANTING AREA. ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- D. REMOVE AND IMMEDIATELY REPLACE ALL PLANTS, AS DETERMINED BY THE OWNER OR THE LANDSCAPE ARCHITECT, TO BE UNSATISFACTORY DURING THE INITIAL PLANT INSTALLATION.

PART 2 - PRODUCTS

- 2.01 - MATERIALS
- A. PLANTS: PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DISFIGURING KNOTS, SUNSCALD INJURIES, FROST CRACKS, ABRASIONS OF THE BARK, PLANT DISEASES, INSECT EGGS,

1. DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK." CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE.
2. CONTAINER-GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
  - A. NO PLANTS SHALL BE LOOSE IN THE CONTAINER.
  - B. CONTAINER STOCK SHALL NOT BE POT BOUND.
3. PLANTS PLANTED IN ROW SHALL BE MATCHED IN FORM.
4. PLANTS LARGER THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED WHEN ACCEPTABLE TO THE OWNER OR THE LANDSCAPE ARCHITECT.
  - A. IF THE USE OF LARGER PLANTS IS ACCEPTABLE, INCREASE THE SPREAD OF ROOTS OR ROOT BALL IN PROPORTION TO THE SIZE OF THE PLANT.
5. SHRUBS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
  - A. THE MEASUREMENTS FOR HEIGHT SHALL BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT AND NOT THE LONGEST BRANCH.
  - B. SINGLE STEMMED OR THIN PLANTS WILL NOT BE ACCEPTED.
  - C. SIDE BRANCHES SHALL BE GENEROUS, WELL TWIGGED, AND THE PLANT AS A WHOLE WELL BUSHED TO THE GROUND.

- D. PLANTS SHALL BE IN A MOIST, VIGOROUS CONDITION, FREE FROM DAD WOOD, BRUISES, OR OTHER ROOT OR BRANCH INJURIES.

2.02 - ACCESSORIES

- A. TOPSOIL FOR PLANTING BEDS: FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED, SLOPEABLE SITE, FREE FROM CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.5.
1. IDENTIFY SOURCE LOCATION OF TOPSOIL PROPOSED FOR USE ON THE PROJECT.
  2. PROVIDE TOPSOIL FREE OF SUBSTANCES HARMFUL TO THE PLANTS, WHICH WILL BE GROWN IN THE SOIL.
- B. PEAT MOSS: BROWN TO BLACK IN COLOR, WEED AND SEED FREE GRANULATED RAW PEAT OR BALED PEAT, CONTAINING NOT MORE THAN 9% MINERAL ON A DRY BASIS.
- C. FERTILIZER:
1. PLANT FERTILIZER TYPE: COMMERCIAL TYPE APPROVED BY THE OWNER OR THE LANDSCAPE ARCHITECT, CONTAINING 12% NITROGEN, 12% PHOSPHORIC ACID, AND 12% POTASH BY WEIGHT, 1/4 IN FORM OF AMMONIA SALT, AND 1/4 IN FORM OF ORGANIC NITROGEN.
- D. MULCH: CYPRESS MULCH, FURNISH IN BULK.
- E. WATER, FREE OF SUBSTANCES HARMFUL TO PLANT GROWTH. HOSES OR OTHER METHODS OF TRANSPORTATION FURNISHED BY CONTRACTOR.

- 3.01 - INSPECTION
- A. EXAMINE PROPOSED PLANTING AREAS AND CONDITIONS OF INSTALLATION. DO NOT START PLANTING WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

- 3.02 - PREPARATION
- A. PLANTING SHALL BE PERFORMED ONLY BY EXPERIENCED WORKMEN FAMILIAR WITH PLANTING PROCEDURES UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.
- B. LOCATE PLANTS AS INDICATED OR AS APPROVED IN THE FIELD AFTER STAKING BY THE CONTRACTOR. IF OBSTRUCTIONS ARE ENCOUNTERED THAT ARE NOT SHOWN ON THE DRAWINGS, DO NOT PROCEED WITH PLANTING OPERATIONS UNTIL ALTERNATE PLANTS LOCATIONS HAVE BEEN SELECTED.

- C. EXCAVATE CIRCULAR PLANT PITS WITH VERTICAL SIDES, EXCEPT FOR PLANTS SPECIFICALLY INDICATED FOR PLANTING IN BEDS. PROVIDE SHRUB PITS AT LEAST 12" GREATER THAN THE DIAMETER OF THE ROOT SYSTEM, AND 24" GREATER FOR PALMS. DEPTH OF PIT SHALL ACCOMMODATE THE ROOT SYSTEM, SCARIFY THE BOTTOM OF THE PIT TO A DEPTH OF 4". REMOVE EXCAVATED MATERIALS FROM THE SITE.
- D. PROVIDE PRE-MIXED PLANTING MIXTURE FOR USE AROUND THE BALLS AND ROOTS OF THE PLANTS CONSISTING OF 5 PARTS PLANTING TOPSOIL TO 1 PART PEAT MOSS AND 1/4 LB. PLANT FERTILIZER FOR EACH CUBIC YARD OF MIXTURE, AS SPECIFIED IN 2.02.C.1. BACKFILL THE PALMS WITH EXISTING SOIL ONLY. DO NOT BACKFILL THE PALMS WITH THE PRE-MIXED PLANTING MIXTURE.

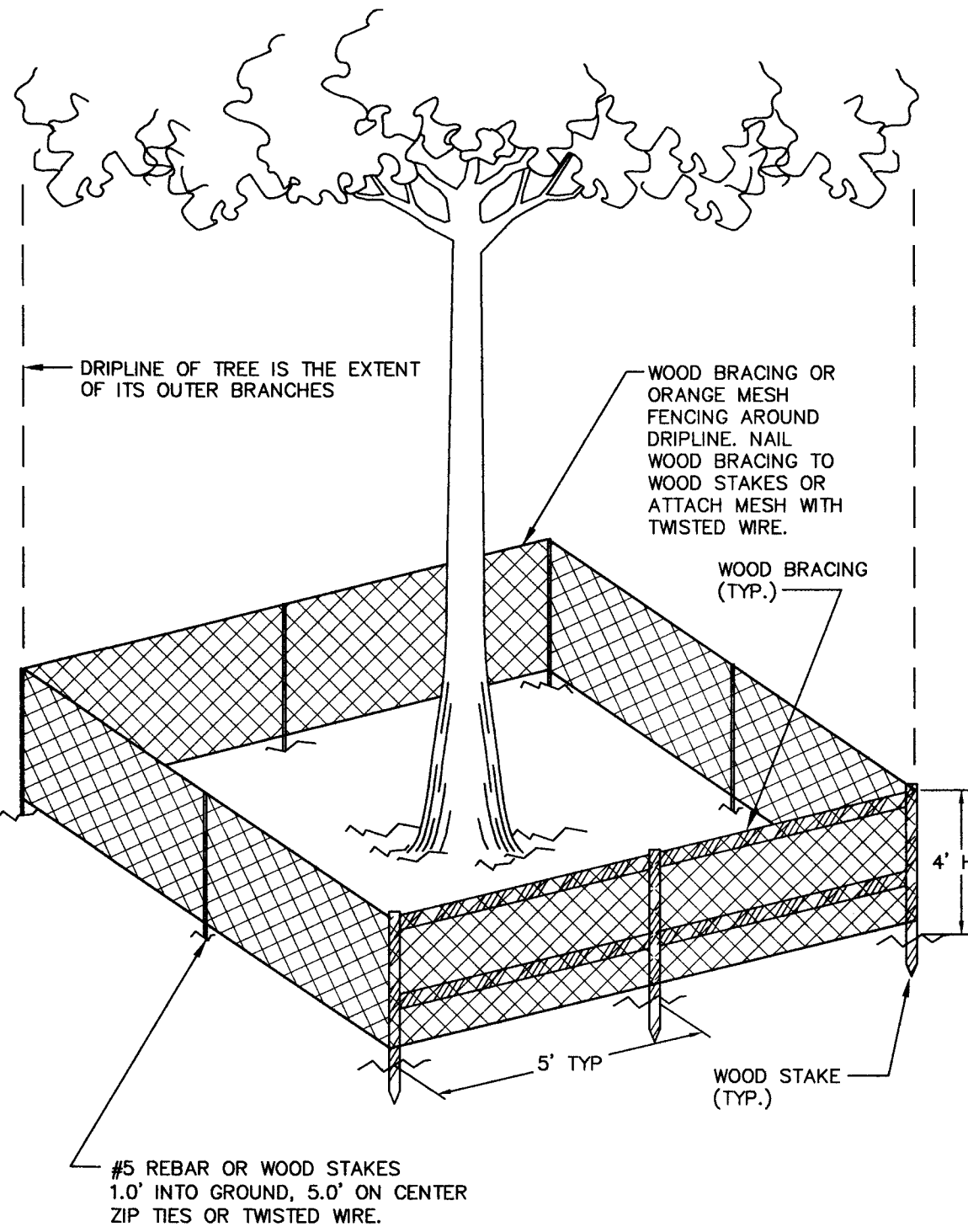
- 3.03 - INSTALLATION
- A. SET PLANT MATERIAL IN THE PLANTING PIT TO PROPER GRADE AND ALIGNMENT. SET PLANTS UPRIGHT, PLUM, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO EACH OTHER OR ADJACENT STRUCTURE. SET PLANT MATERIAL 1"-2" ABOVE THE FINISH GRADE. NO FILLING WILL BE PERMITTED AROUND TRUNKS OR STEMS. BACKFILL THE PIT WITH PLANTING MIXTURE. DO NOT USE FROZEN OR MUDDY MIXTURES FOR BACKFILLING.
- B. AFTER BALLED AND BURLAPPED PLANTS ARE SET, MIDDLE PLANTING SOIL MIXTURE AROUND BASES OF BALLS AND FILL ALL VOIDS.
- C. MULCHING:

1. MULCH TREE AND SHRUB PLANTING PITS AND SHRUB BEDS WITH REQUIRED MULCHING MATERIAL 3" DEEP IMMEDIATELY AFTER PLANTING. THOROUGHLY WATER MULCHED AREAS. AFTER WATERING, RAKE MULCH TO PROVIDE A UNIFORM FINISHED SURFACE.

- 3.04 - MAINTENANCE
- A. MAINTAIN PLANTINGS UNTIL COMPLETION AND ACCEPTANCE OF THE ENTIRE PROJECT.
- B. MAINTENANCE SHALL INCLUDE PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
1. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
  2. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
- C. THE CONTRACTOR SHALL PROVIDE TO THE OWNER MONTHLY INSPECTION REPORTS REGARDING THE LANDSCAPE MATERIALS FOR THE DURATION OF THE ONE-YEAR WARRANTY PERIOD.

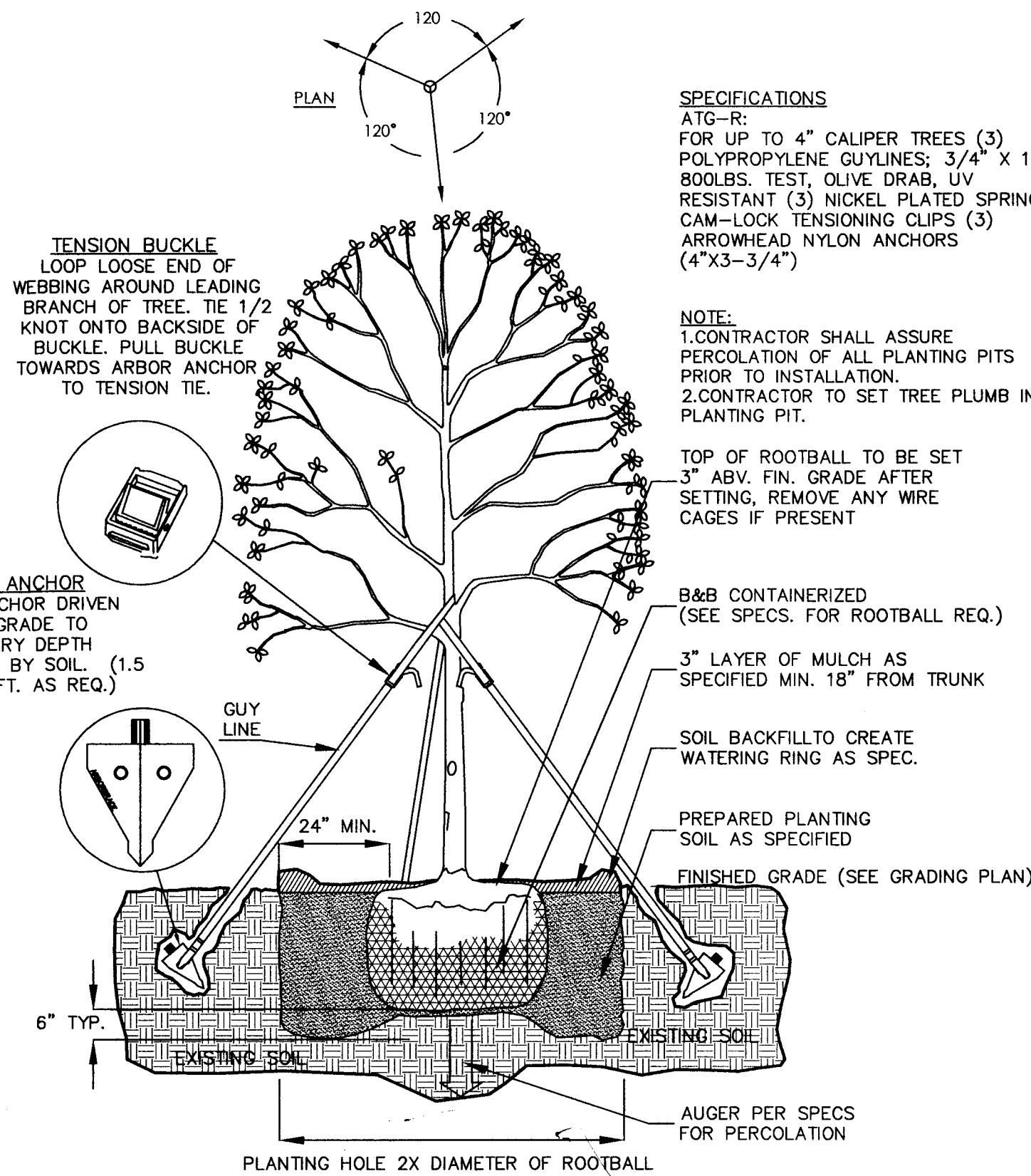
- 3.05 - ACCEPTANCE (BASED UPON FINAL COMPLETION)
- A. INSPECTION TO DETERMINE ACCEPTANCE OF PLANTED AREAS WILL BE MADE BY THE OWNER OR THE LANDSCAPE ARCHITECT UPON CONTRACTOR'S REQUEST. PROVIDE NOTIFICATION AT LEAST 10 WORKING DAYS BEFORE REQUESTED INSPECTION DATE.
1. PLANTED AREAS WILL BE ACCEPTED PROVIDED ALL REQUIREMENTS, INCLUDING MAINTENANCE, HAVE BEEN COMPLIED WITH AND PLANTS MATERIALS ARE ALIVE IN A HEALTHY AND VIGOROUS CONDITION.
  2. LANDSCAPE WEED BARRIER IS REQUIRED UNDER ALL MULCHED AREAS.

- 3.06 - CLEANING
- A. PERFORM CLEANING DURING INSTALLATION OF THE WORK AND UPON COMPLETION OF THE WORK. REMOVE FROM SITE ALL EXCESS MATERIALS, SOIL, DEBRIS, AND EQUIPMENT. REPAIR DAMAGE RESULTING FROM PLATING OPERATIONS.

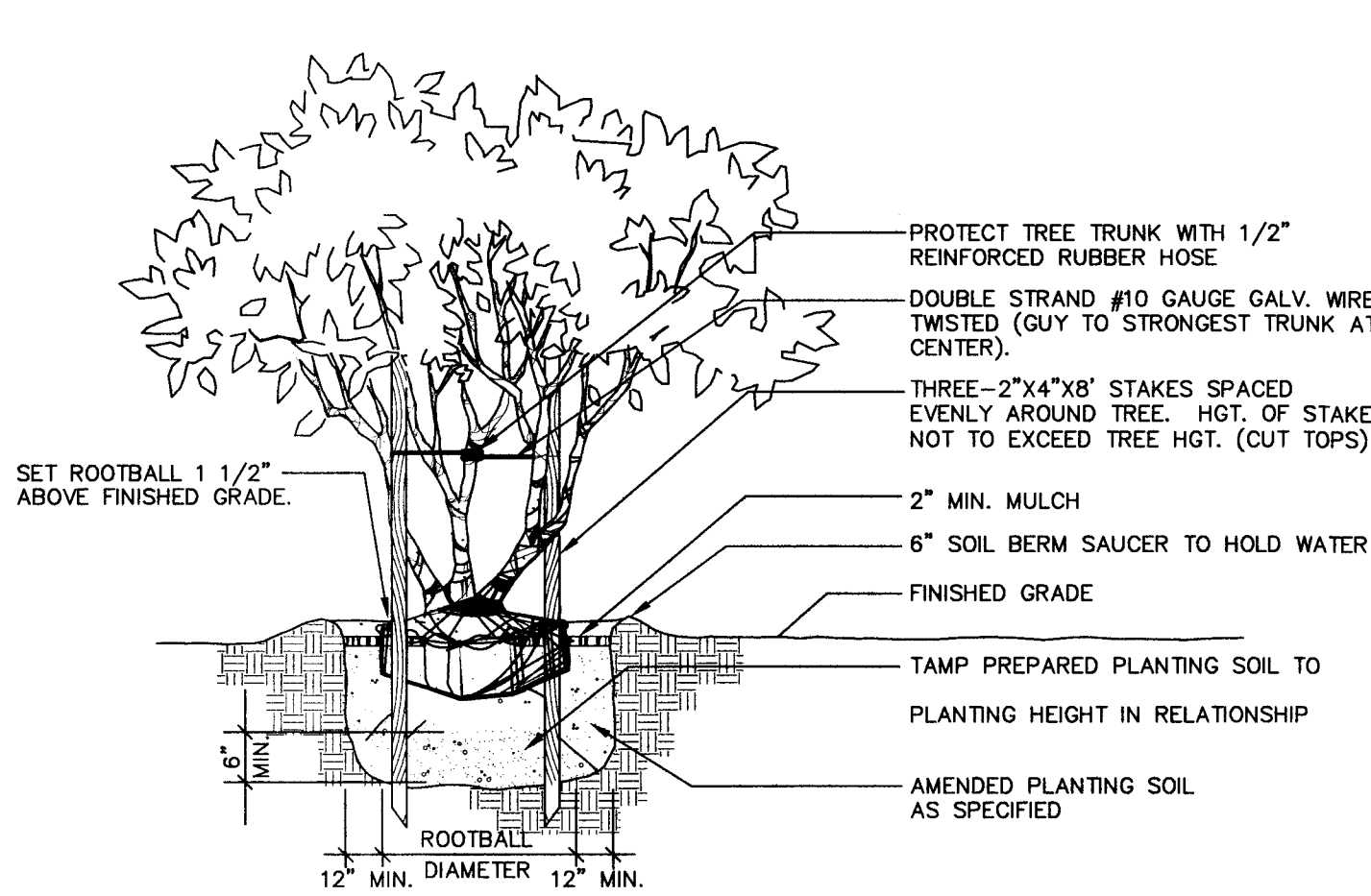


NOTE:  
BARBED WIRE FENCING IS NOT PERMISSIBLE

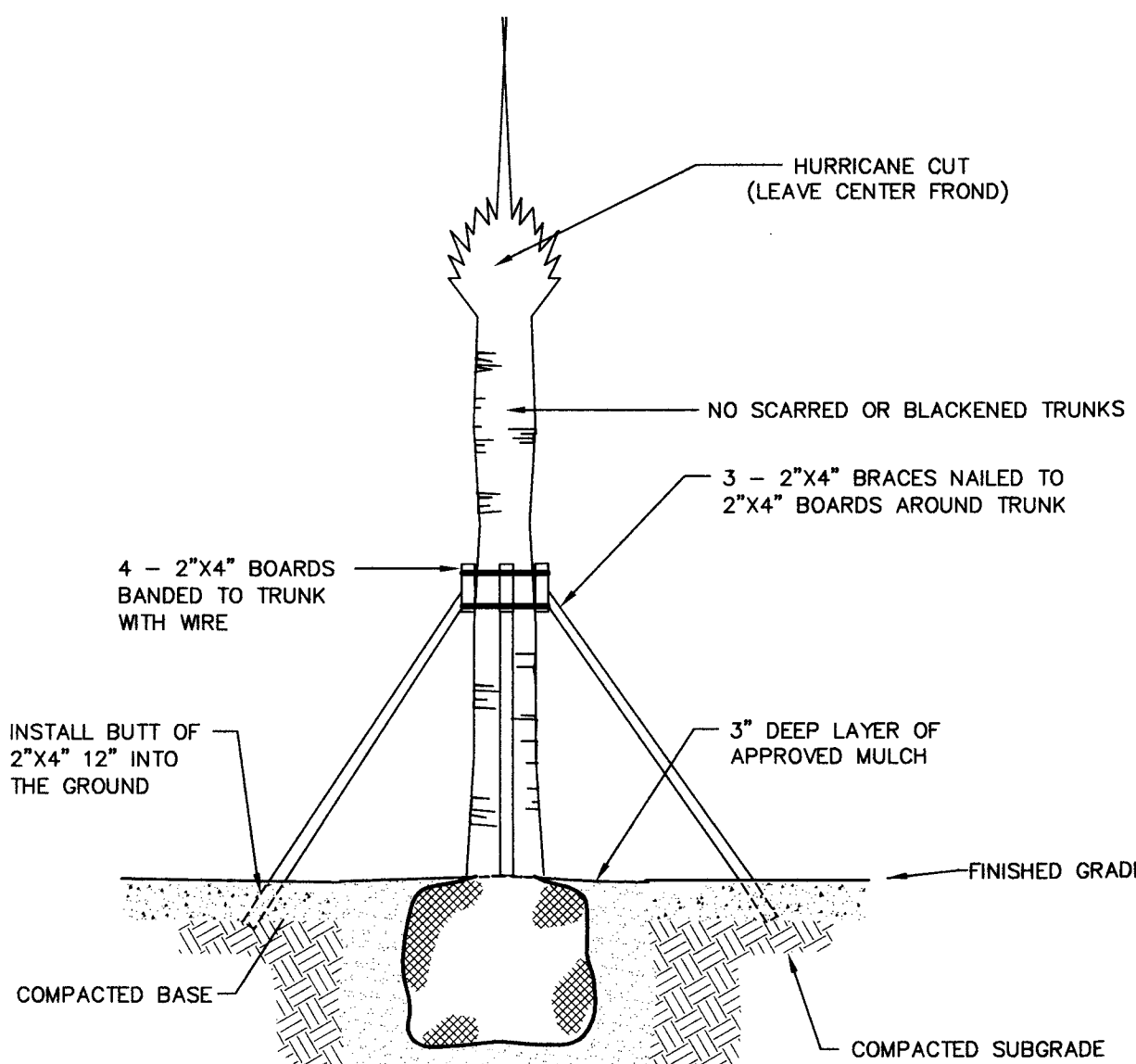
TREE PROTECTION BARRICADE



TREE PLANTING & GUY DETAILS

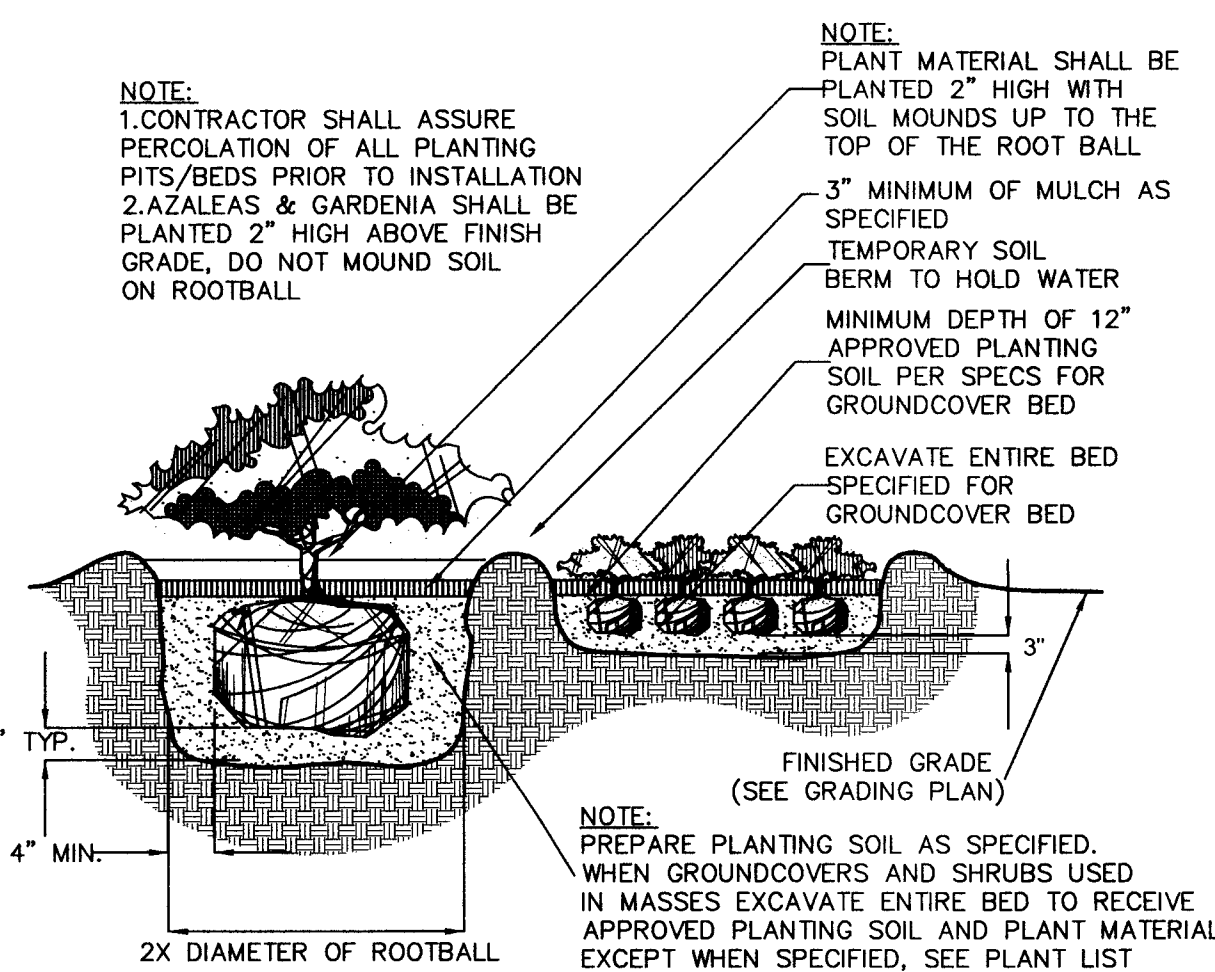


TYPICAL MULTI-TRUNK TREE  
NTS



SECTION VIEW

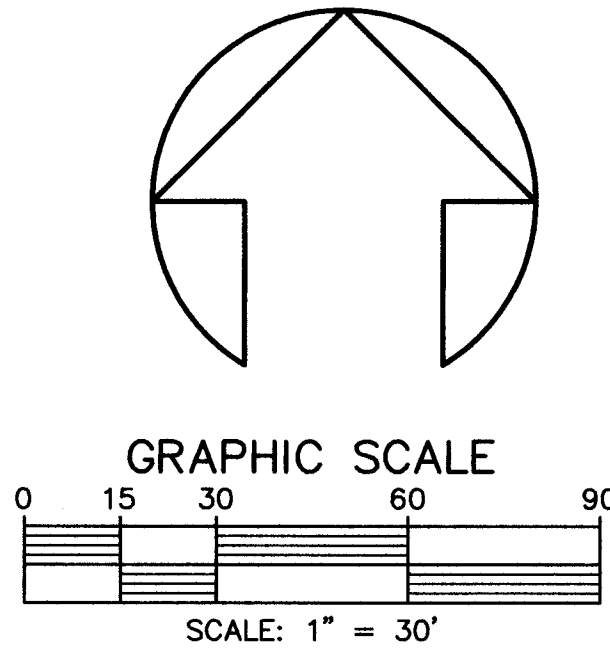
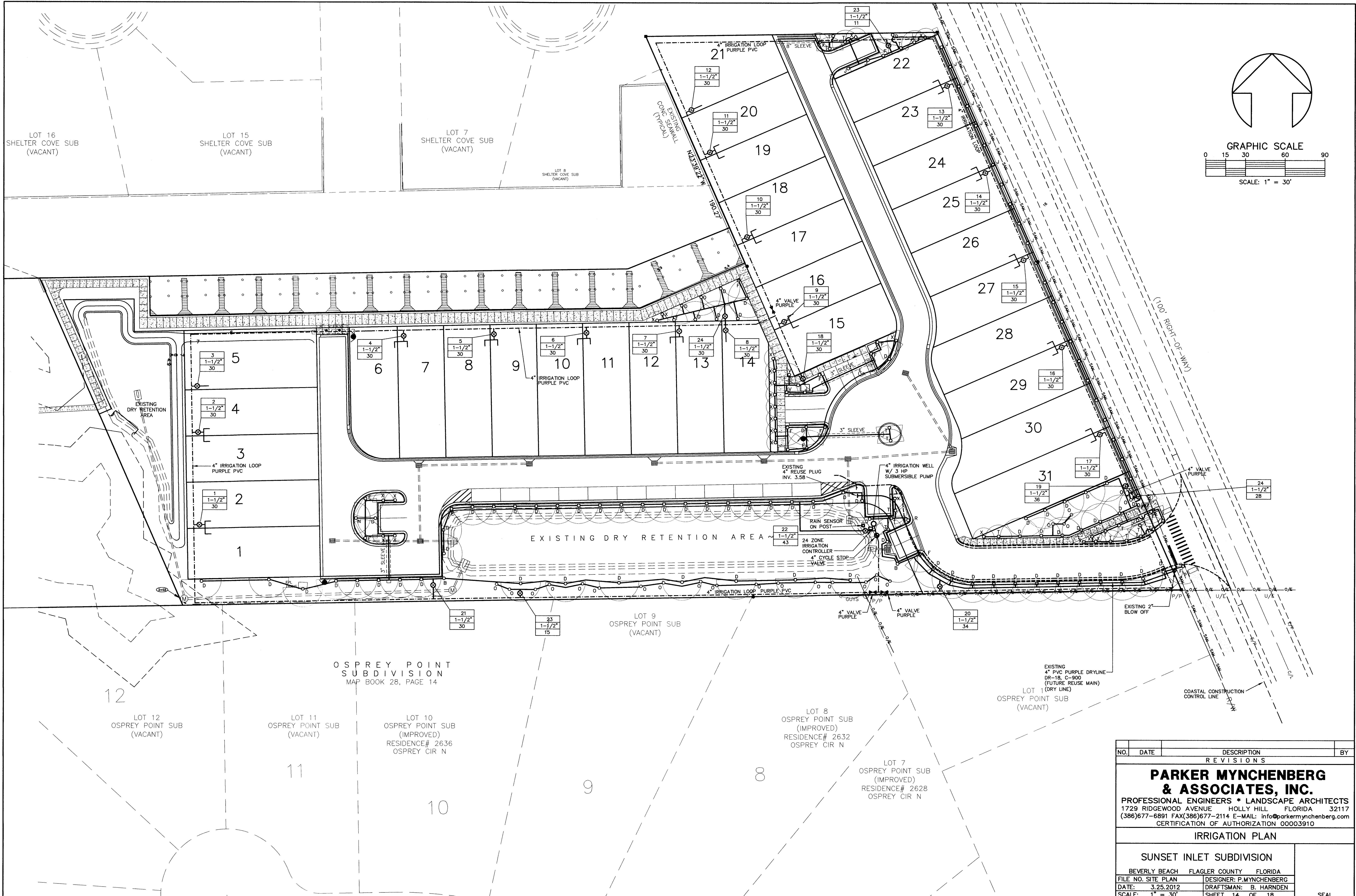
PALM TREE STAKING DETAIL  
NTS



SHRUB AND GROUND COVER PLANTING DETAIL

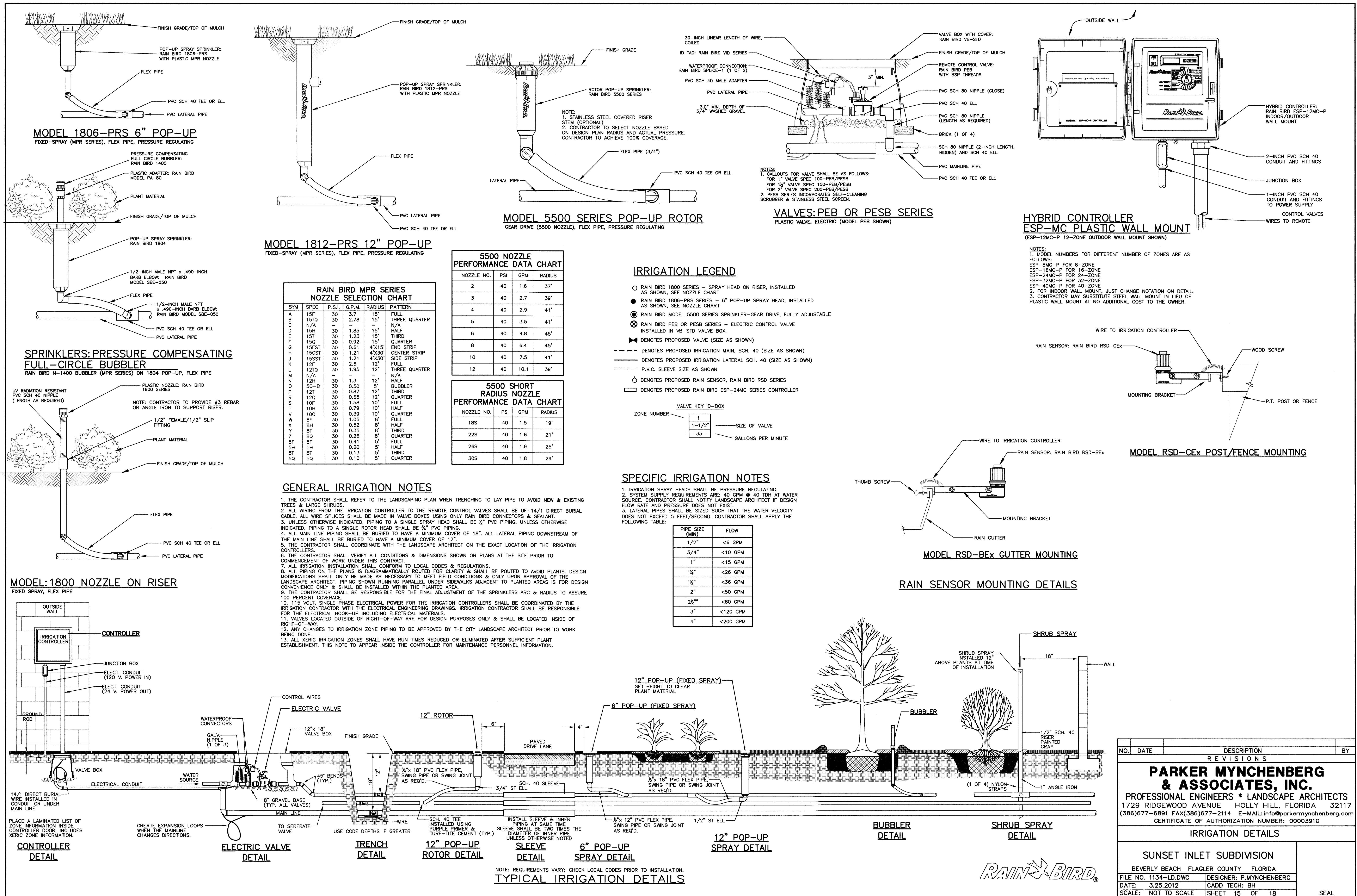
NO.	DATE	DESCRIPTION	BY
REVISIONS			
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b>			
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS			
1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117			
(386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com			
CERTIFICATE OF AUTHORIZATION NUMBER: 00003910			
LANDSCAPE DETAILS			
SUNSET INLET SUBDIVISION			
BEVERLY BEACH FLAGLER COUNTY FLORIDA			
FILE NO. 1134-LD.DWG		DESIGNER: P.MYNCHENBERG	
DATE: 3.25.2012		CADD TECH: BH	
SCALE: NOT TO SCALE		SHEET 13 OF 18	
SEAL			



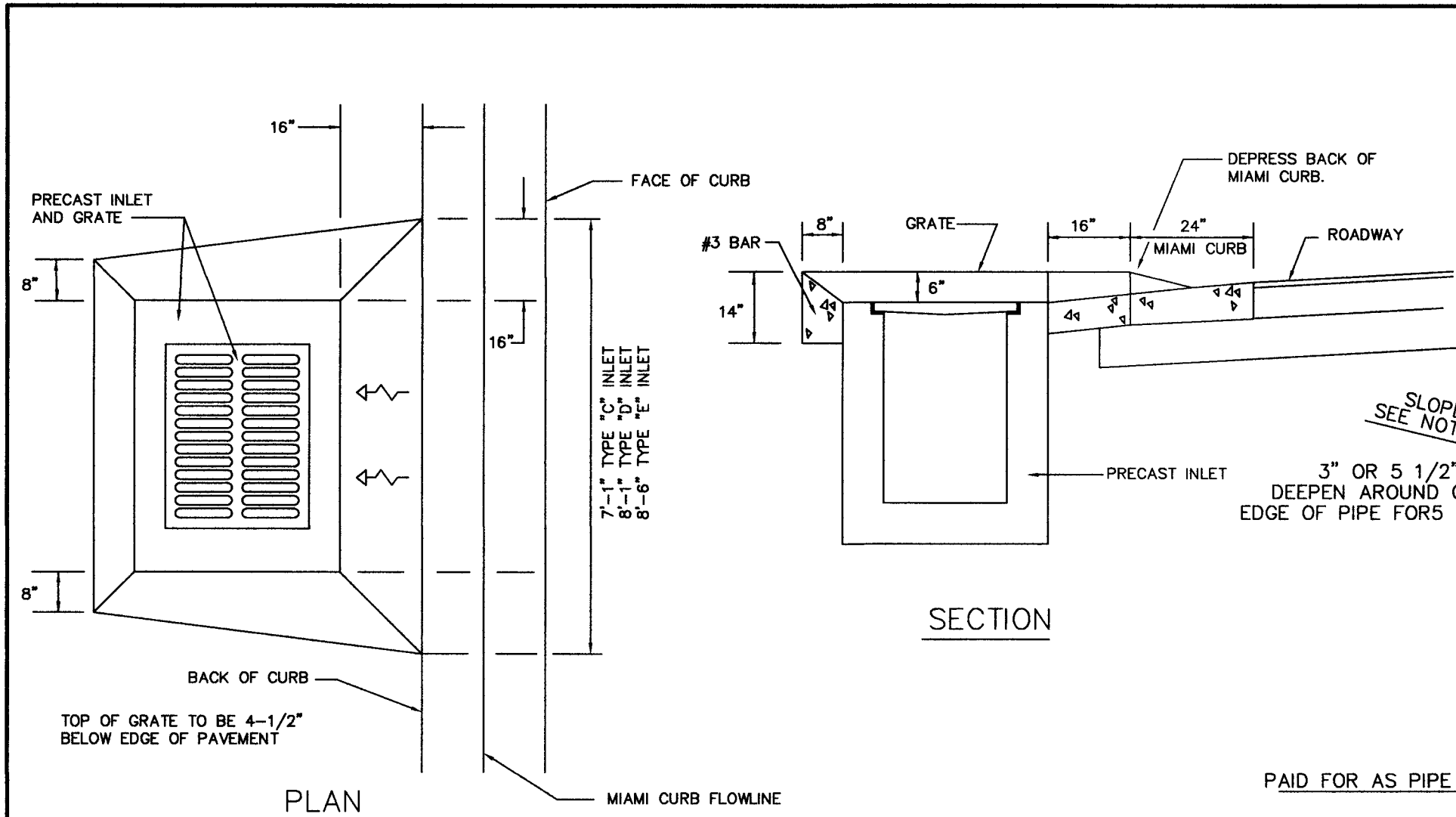


NO.		DATE	DESCRIPTION	BY
REVISIONS				
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b>				
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com CERTIFICATION OF AUTHORIZATION 00003910				
IRRIGATION PLAN				
SUNSET INLET SUBDIVISION				
BEVERLY BEACH FLAGLER COUNTY FLORIDA				
FILE NO. SITE PLAN		DESIGNER: P.MYNCHENBERG		
DATE: 3.25.2012		DRAFTSMAN: B. HARNDEN		
SCALE: 1" = 30'		SHEET 14 OF 18		SEAL



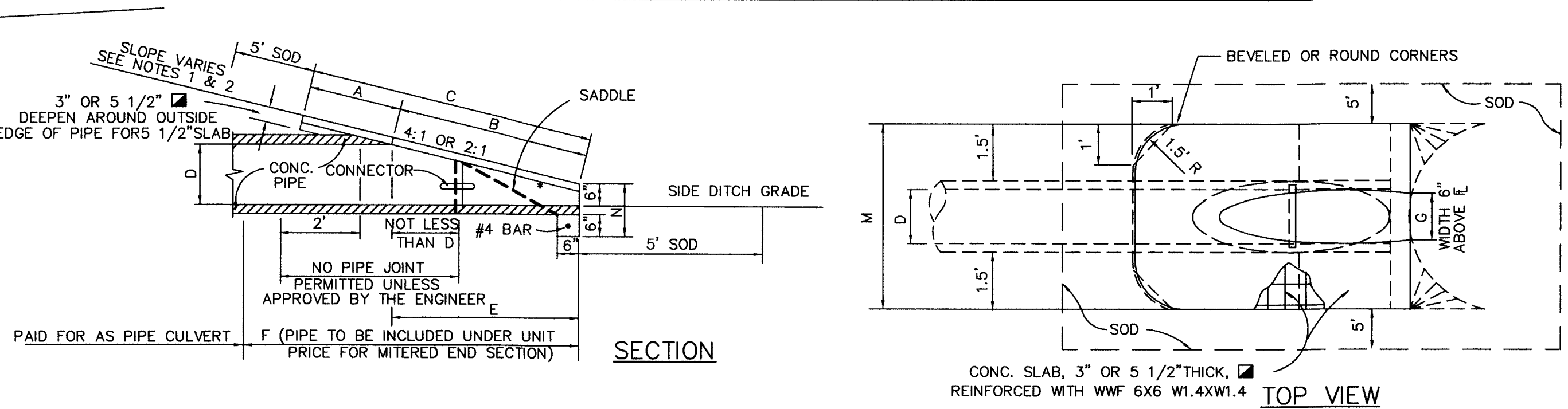




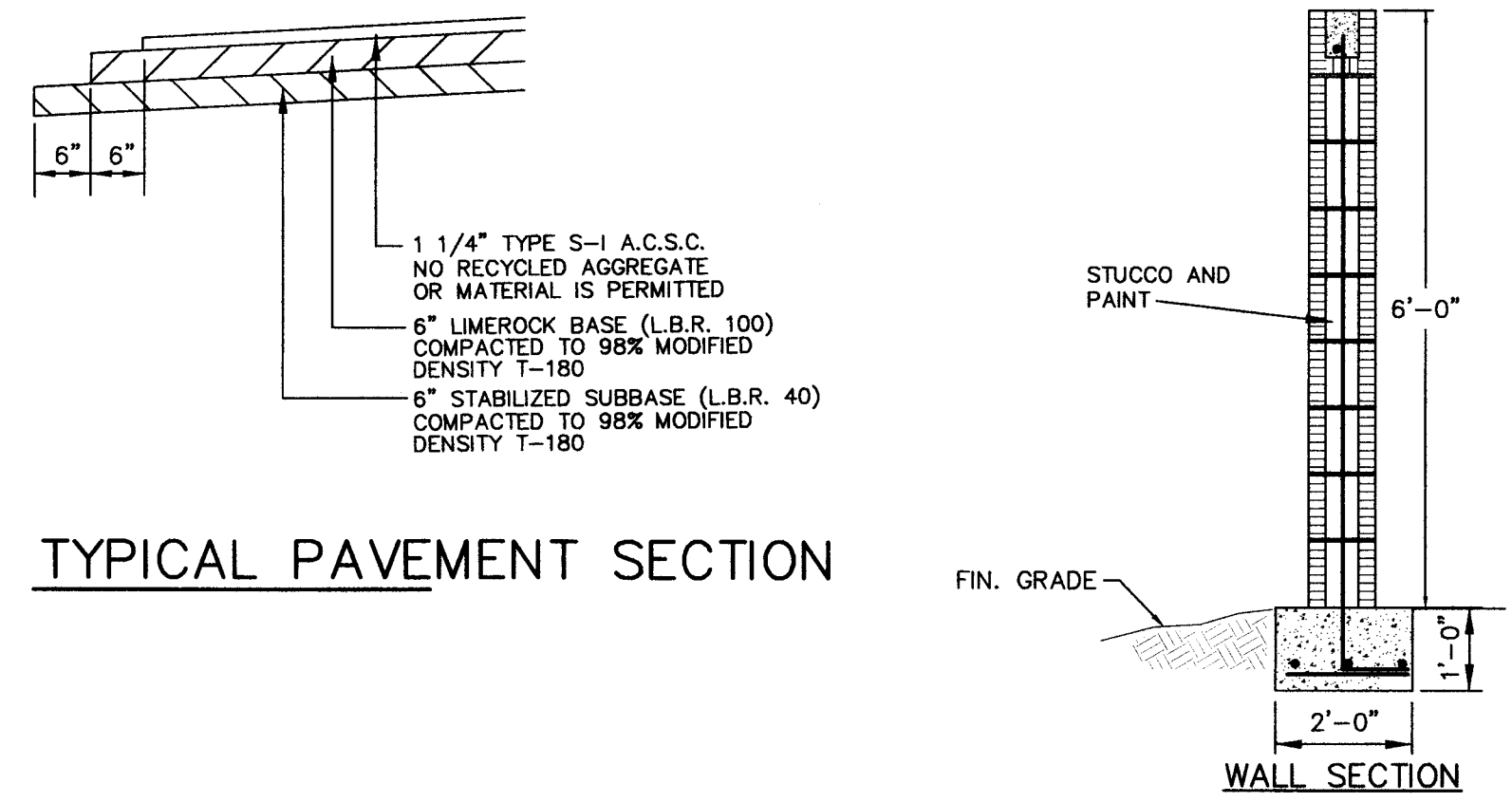


INLET SPILLWAY DETAIL

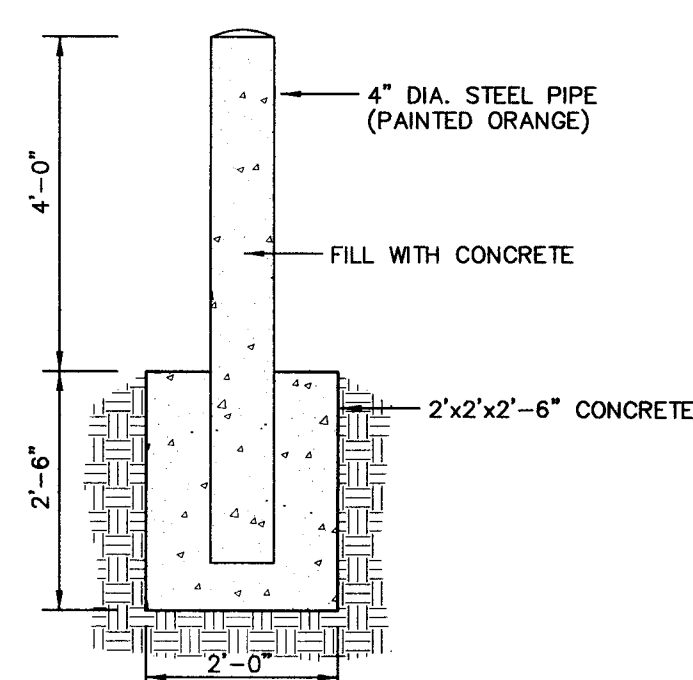
DIMENSIONS AND QUANTITIES												
	D	X	A	B	C	E	F	G	M	3' CONCRETE SLAB	SOD (SY)	
									SINGLE PIPE	(CY)	SINGLE PIPE	SINGLE PIPE
4:1 SLOPE	15"	2'-7"	2.27'	4.09'	6.36'	4.03'	8'	1.22'	4.63'	0.76	0.47	25
4:1 SLOPE	18"	2'-10"	2.36'	5.12'	7.48'	5.03'	9'	1.41'	4.92'	0.85	0.47	25
4:1 SLOPE	24"	3'-5"	2.53'	7.18'	9.71'	7.03'	11'	1.73'	5.50'	1.02	0.85	28



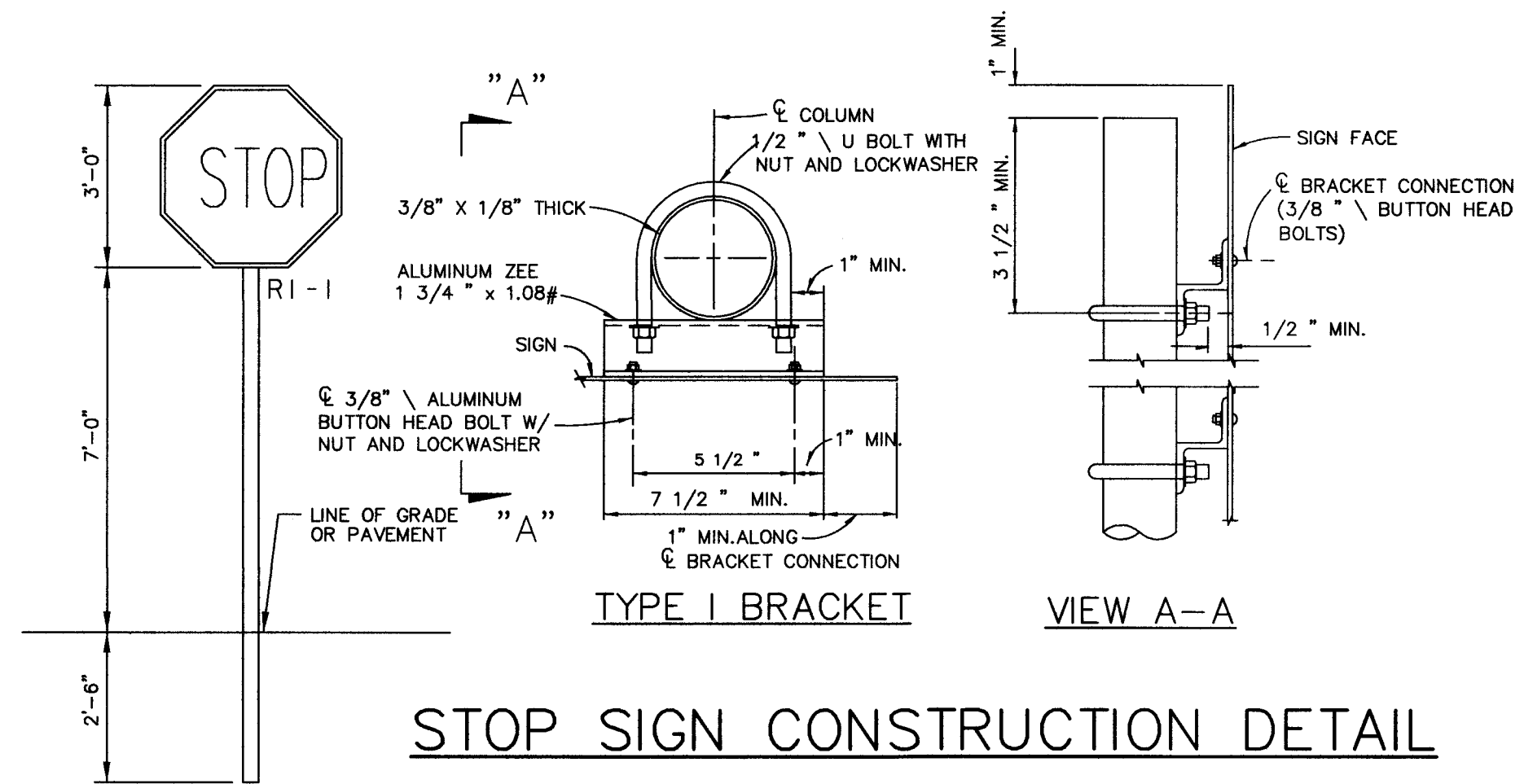
18" & 24" MITERED END SECTION



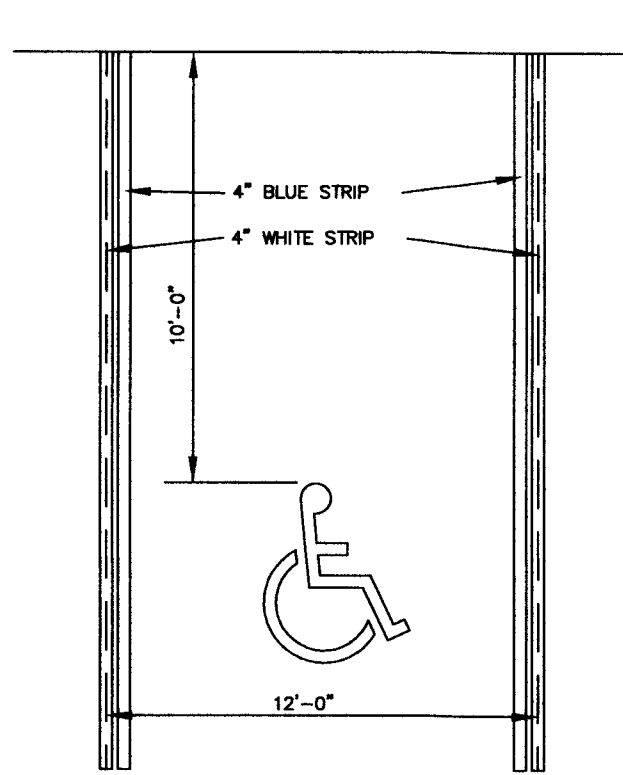
TYPICAL PAVEMENT SECTION



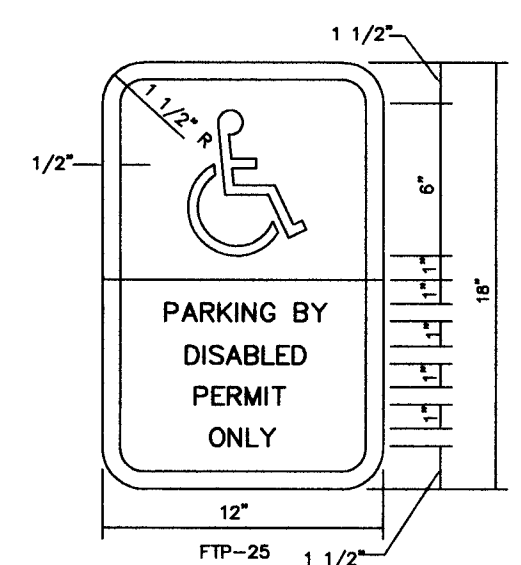
BOLLARD DETAIL



STOP SIGN CONSTRUCTION DETAIL

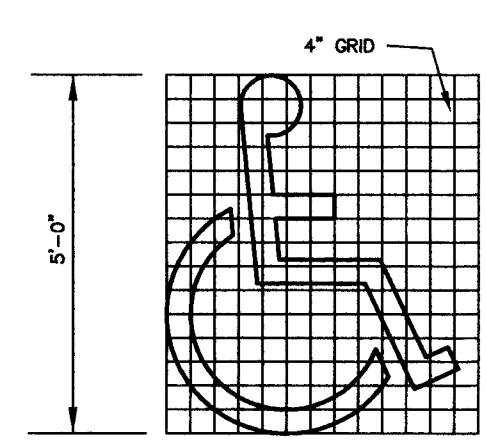


TYPICAL MARKINGS FOR HANDICAPPED PARKING



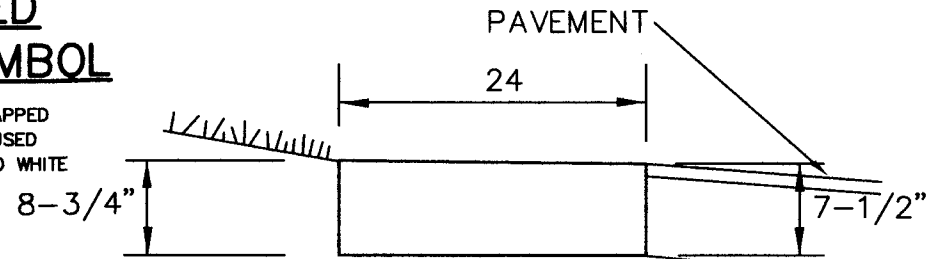
HANDICAP PARKING SIGN DETAIL

- 1.) TOP PORTION OF SIGN TO HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
- 2.) BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
- 3.) SIGN MAY BE FABRICATED ON ONE PANEL OR TWO.
- 4.) SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT, (7' FROM PAVEMENT TO BOTTOM OF SIGN.)

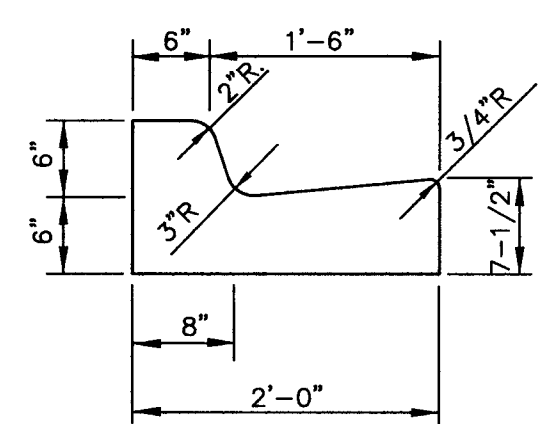


HANDICAPPED PAVEMENT SYMBOL

USE OF PAVEMENT SYMBOL IN HANDICAPPED PARKING SPACES IS REQUIRED. WHEN USED THE SYMBOL SHALL BE 5 FT. HIGH AND WHITE IN COLOR.

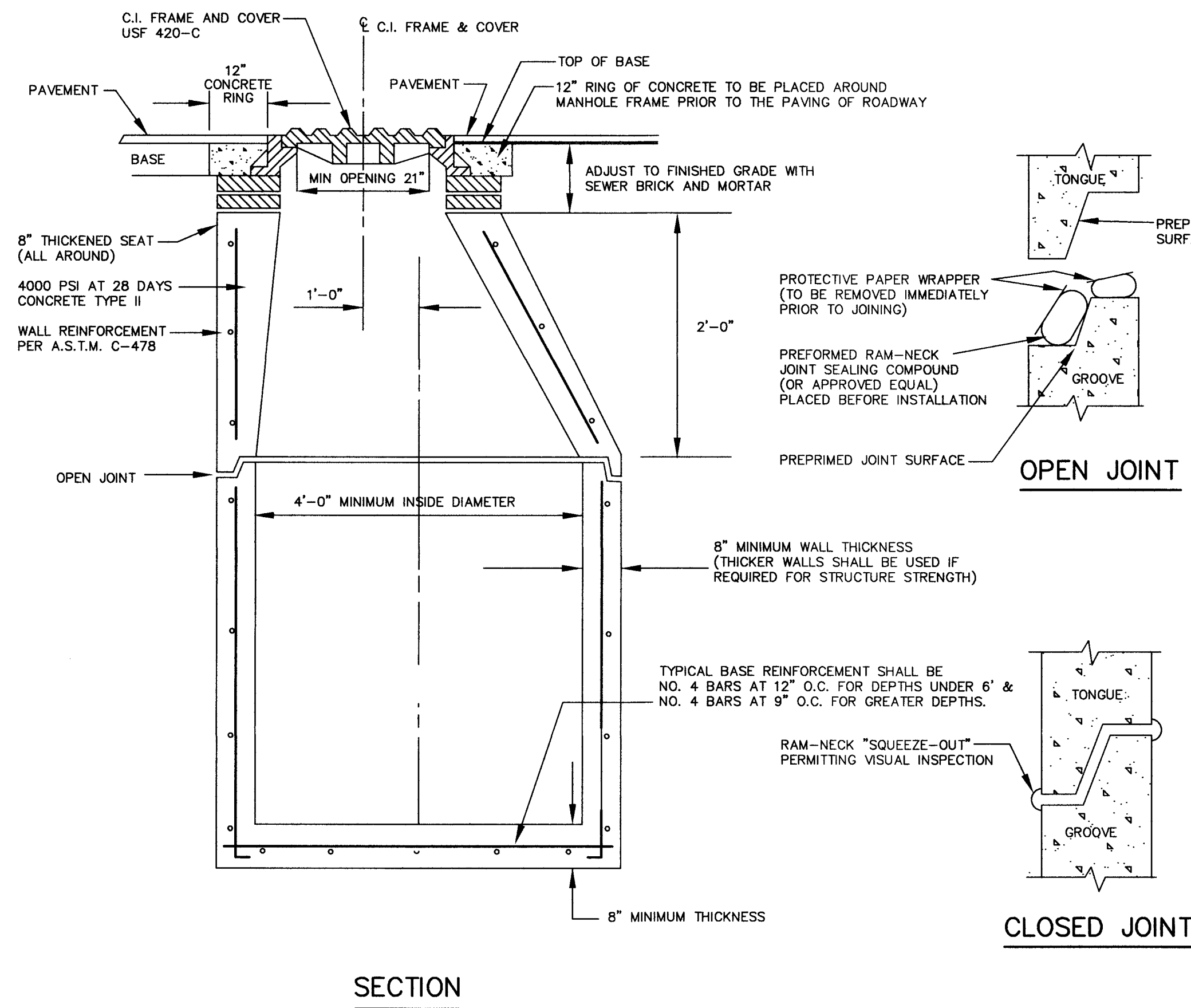


2 FT FLAT CURB

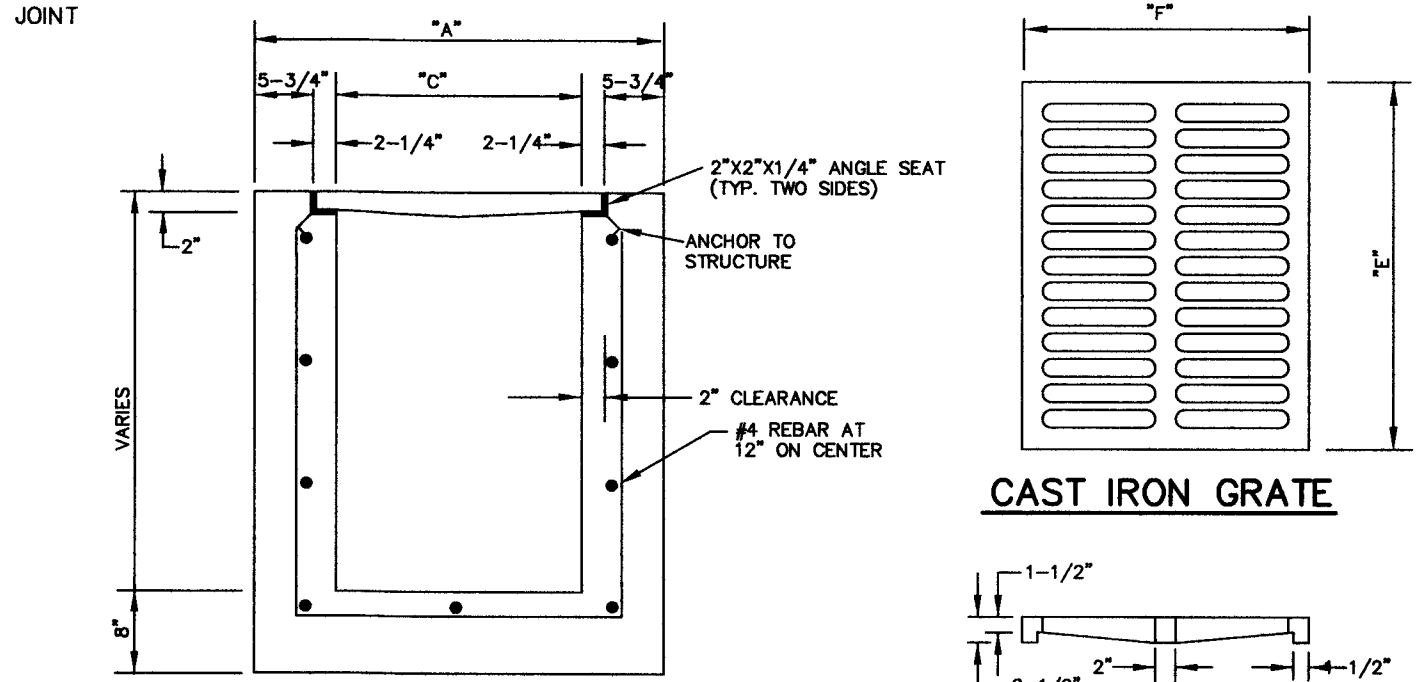


NOTE (1) WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

TYPE F GUTTER



JUNCTION MANHOLE DETAIL



CAST IRON GRATE

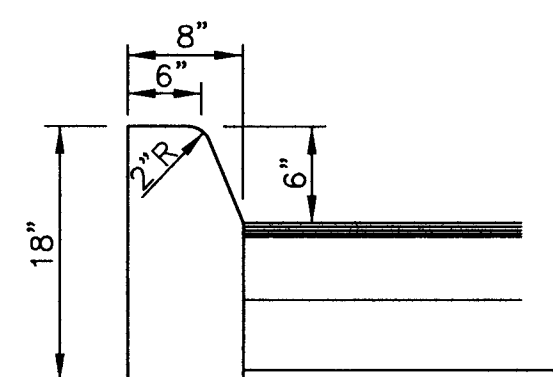
GRATE-END VIEW

INLET TYPE	DIMENSIONS					
	A	B	C	D	E	F
"C"	3'-4"	4'-5"	2'-0"	3'-1"	3'-0"	2'-4"
"E"	4'-4"	5'-10"	3'-0"	4'-6"	4'-4"	3'-4"

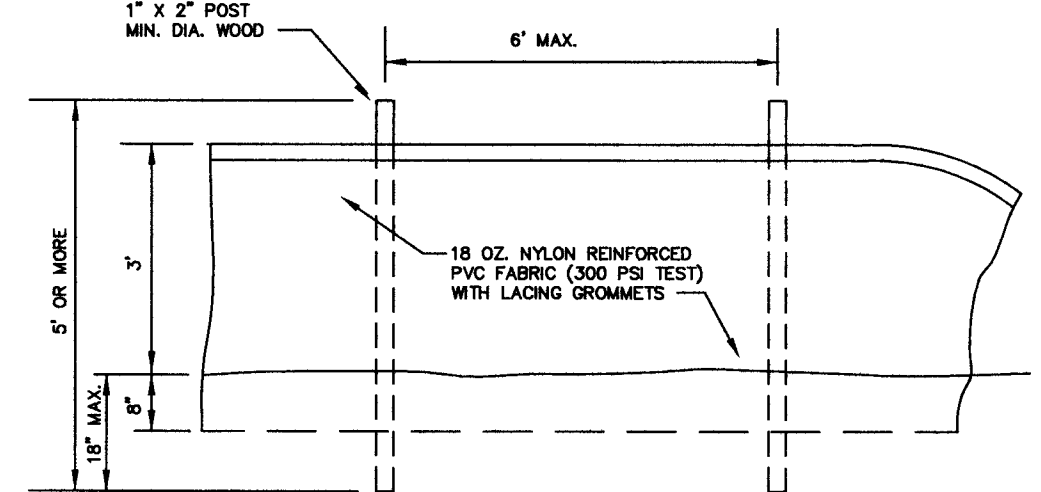
- GENERAL NOTES:
1. ALL EXPOSED EDGES AND CORNERS TO BE CHAMFERED 3/4".
  2. CAST IRON GRATES TO BE IN ACCORDANCE WITH FLORIDA D.O.T. SPECS.
  3. INLET WALLS AND FOOTINGS MAY BE EITHER POURED-IN-PLACE 2500 LB. CONCRETE OR PRECAST GLASS "A" 5000 LB. CONCRETE OR STANDARD MANHOLE BRICK (NO BLOCK) WITH 1/2" PLASTER (NO LIME) W/ 5' PRECAST CAP.
  4. STEEL REINFORCING SHALL BE DESIGNED BY A FLA. REG. P.E., AND BE DESIGNED FOR EACH SPECIFIC STRUCTURE.
  5. SHOP DRAWINGS FOR ALL STRUCTURES SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.

TYPE "C" & "E" INLET

MIAMI CURB



TYPE D CURB



STAKED TURBIDITY BARRIER

NOTE:  
TURBIDITY BARRIERS FOR FLOWING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING OR STAKED TYPES OR ANY COMBINATIONS OF TYPES THAT WILL SUIT SITE CONDITIONS AND MEET EROSION CONTROL AND WATER QUALITY REQUIREMENTS. THE BARRIER TYPE(S) WILL BE AT THE CONTRACTORS OPTION UNLESS OTHERWISE SPECIFIED IN THE PLANS. HOWEVER, PAYMENT WILL BE UNDER THE PAY ITEM(S) ESTABLISHED IN THE PLANS FOR FLOATING TURBIDITY BARRIER AND/OR STAKED TURBIDITY BARRIER POSTS IN STAKED TURBIDITY BARRIERS TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

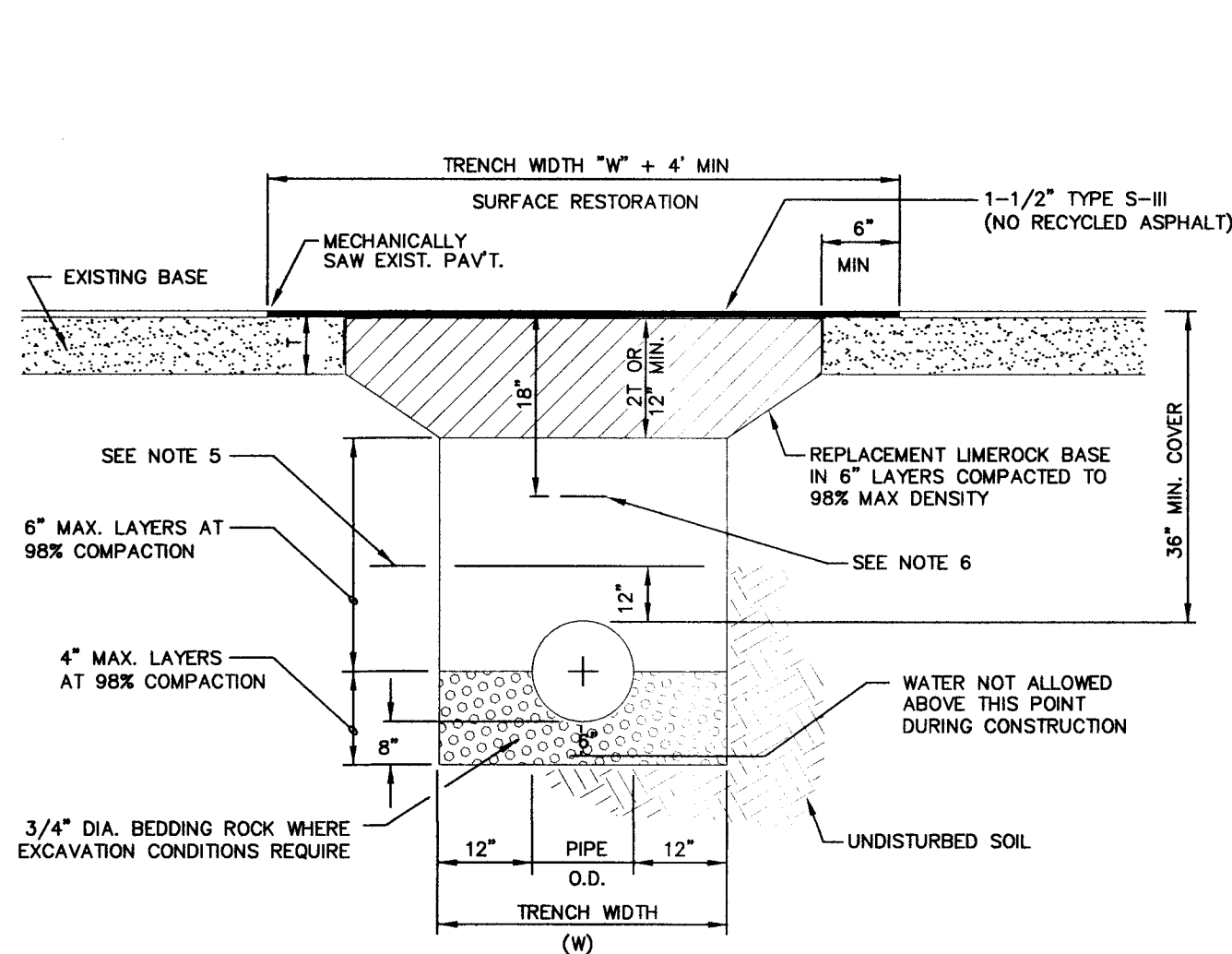
- NOTES:
1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH.
  2. NUMBER AND SPACING OF ANCHORS DEPENDENT ON CURRENT VELOCITIES.
  3. DEPLOYMENT OF BARRIER AROUND PILE LOCATIONS MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
  4. NAVIGATION MAY REQUIRE SEGMENTING BARRIER DURING CONSTRUCTION OPERATIONS.
  5. THE ABOVE APPLICATIONS INDICATE TYPE 1 FLOATING TURBIDITY BARRIER SINCE ANCHORS ARE SHOWN; HOWEVER, IF CONDITIONS WARRANT, TYPE 2 FLOATING TURBIDITY BARRIERS MAY BE USED. FOR ADDITIONAL INFORMATION, SEE STANDARD SPECIFICATIONS.

EROSION CONTROL NOTES

- 1.) SITE WORK, CLEARING, EXCAVATION AND CONSTRUCTION ACTIVITIES TO INCORPORATE BEST MANAGEMENT PRACTICES TO CONTROL EROSION, SEDIMENTATION AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. CONSTRUCTION PRACTICES TO INCLUDE:
  - a. CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS OR EARTHEN BERMS TO BE PLACED AT DOWN GRADE ENDS OF NEWLY GRADED AREAS TO PROVIDE FOR SEDIMENT AND TURBIDITY REMOVAL PRIOR TO STORMWATER DISCHARGE.
  - b. SITE CLEARING TO BE LIMITED TO AREAS REQUIRED TO BE CLEARED WITH A PARTICULAR PHASE OF CONSTRUCTION. EXISTING TREES AND VEGETATION TO REMAIN WHEREVER POSSIBLE.
  - c. INSTALLATION OF TURBIDITY NETS AND/OR HAY BALES OVER VARIOUS DISCHARGE STREAM BEDS TO REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES UPSTREAM ARE COMPLETED AND THE POTENTIAL FOR EROSION IS STABILIZED.
- 2.) LAKE, DITCH AND SWALE BANKS TO BE SEED AND MULCHED AS SOON AS POSSIBLE AFTER CONSTRUCTION TO STABILIZE SLOPES AND CONTROL EROSION.

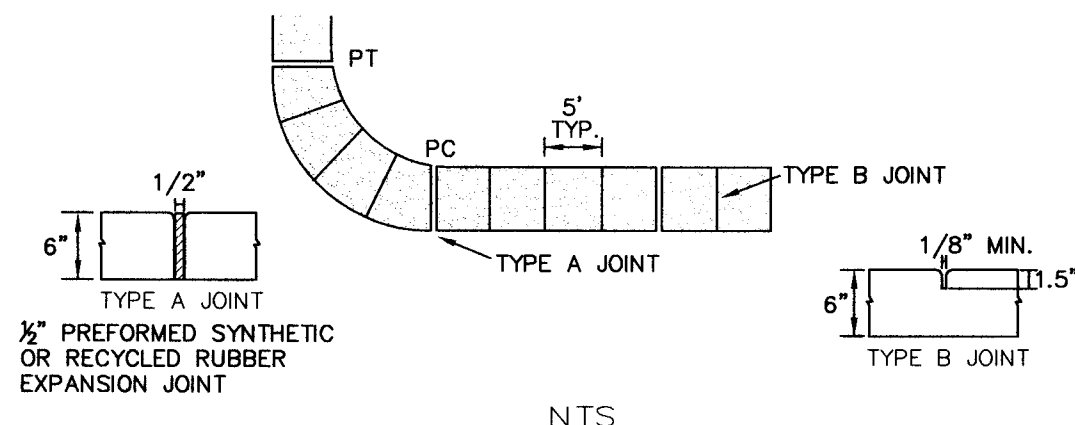
NO.		DATE	DESCRIPTION	BY
REVISIONS				
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b>				
PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL FLORIDA 32117 (386)677-6891 FAX (386)677-2114 email: info@parkermynchenberg.com CERTIFICATE OF AUTHORIZATION NUMBER: 00003910				
PAVING AND DRAINAGE DETAILS				
SUNSET INLET SUBDIVISION				
BEVERLY BEACH FLAGLER COUNTY FLORIDA				
FILE NO.	PD.DWG	DESIGNER:	MYNCHENBERG	
DATE:	3.25.2012	DRAFTSMAN:	B. HARNDEN	
SCALE:	NOTED	SHEET	16 OF 18	SEAL





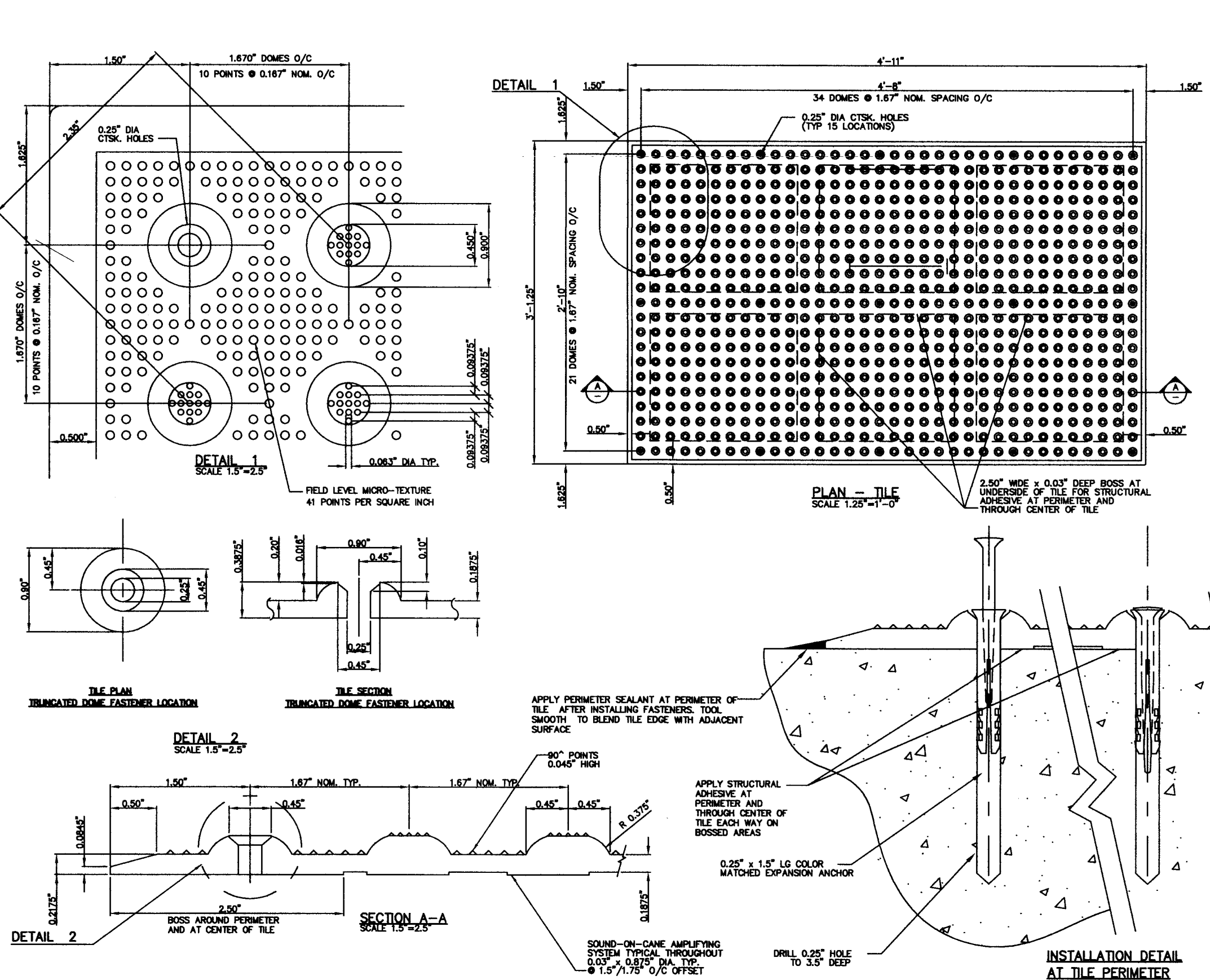
- NOTES:
- WHERE SOIL CONDITIONS CAN NOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION.
  - SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD.
  - NEW SURFACING MATERIALS SHALL BE CONSISTENT WITH EXISTING AND SHALL HAVE LAPPED & FEATHERED JOINTS (1 1/2" MIN. THK.)
  - COMPACTION PERCENTAGES SHOWN REFER TO A.A.S.H.T.O. T-180. PROVIDE COMPACTION TEST REPORTS TO CITY INSPECTOR.
  - MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL.
  - FOR PVC PIPE ONLY - INSTALL METALLIC TAPE AND UF #14 INSULATED COPPER WIRE OVER FULL LENGTH OF PIPE.
  - HIGH EARLY STRENGTH CONCRETE MAY BE SUBSTITUTED FOR LIMEROCK UPON APPROVAL BY CITY ENGINEER.
  - THE CONTRACTOR SHALL, UNLESS OTHERWISE NOTED, RESTORE ALL STRIPING, PAVEMENT MARKINGS, DELINEATORS, SIGNAGE AND TRAFFIC SIGNAL SYSTEM COMPONENTS DISTURBED DURING CONSTRUCTION ACTIVITIES. COST OF ALL WORK AND MATERIALS WILL BE CONSIDERED INCIDENTAL TO PATCH MATERIAL ITEMS.

PAVEMENT CUT AND PATCH DETAIL

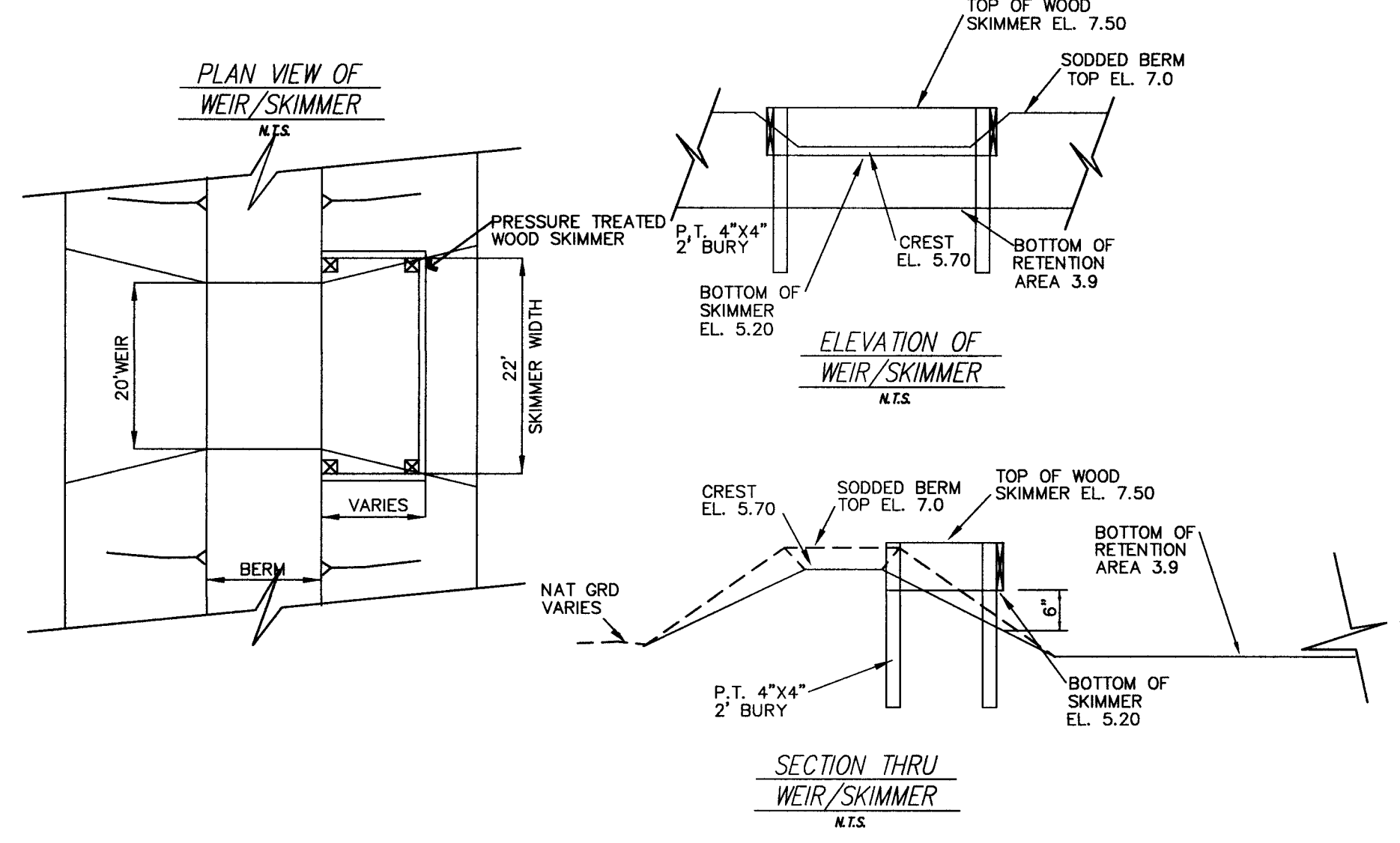


- NTS
- SIDEWALKS, BIKE PATHS, RAMPS AND DRIVEWAY APRONS SHALL BE CONSTRUCTED OF PLAIN PORTLAND CEMENT CONCRETE WITH A MAXIMUM SLUMP OF 3", A MINIMUM DEVELOPED COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS, AND A MINIMUM UNIFORM THICKNESS OF 6".
  - SIDEWALKS AND BIKE PATHS SHALL BE PLACED PARALLEL TO, AND ONE FOOT WITHIN THE RIGHT-OF-WAY LINE EXCEPT THAT THE CITY MAY APPROVE DEVIATIONS TO SAVE SPECIMEN TREES PROVIDED THAT THE SIDEWALK REMAINS WITHIN THE RIGHT-OF-WAY OR AN APPROVED SIDEWALK EASEMENT ABUTTING THE RIGHT OF WAY. SIDEWALKS AND BIKE PATHS SHOULD BE LOCATED AT LEAST 4' FROM THE EDGE OF THE STREET PAVEMENT UNLESS OTHERWISE APPROVED BY THE CITY.
  - THE TOP OF THE CONCRETE SHALL BE AT AN ELEVATION NO LOWER THAN THE CROWN OF THE ADJACENT ROADWAY, AND NO HIGHER THAN 6" ABOVE THE CROWN UNLESS APPROVED BY THE CITY TO MAKE A MORE NATURAL TRANSITION WITH THE ADJACENT LAND.
  - ISOLATION JOINTS (TYPE A JOINTS) SHALL BE PROVIDED BETWEEN EXISTING SLABS OR STRUCTURES AND FRESH CONCRETE, TO SEPARATE PEDESTRIAN SECTIONS FROM SECTIONS WHICH WILL ENCOUNTER VEHICLE TRAFFIC, TO SEPARATE FRESH PLACEMENT FROM CONCRETE WHICH HAS SET FOR MORE THAN 60 MINUTES, AND NO FARTHER APART THAN 100' IN SIDEWALKS AND BIKE PATHS. PREFORMED EXPANSION JOINT MATERIAL SHALL BE AS SPECIFIED IN F.D.O.T. STANDARDS AND SPECIFICATIONS, LATEST EDITION, AND SHALL BE SYNTHETIC, RECYCLED RUBBER OR OTHER PRE-APPROVED NON-BIODEGRADABLE ELASTOMERIC MATERIAL. WOOD AND DECCA-RAIN STYLE POOL DRAINS ARE STRICTLY PROHIBITED IN ACCORDANCE WITH CHAPTER 8.1.2 OF THE FDOT SOILS AND FOUNDATIONS HANDBOOK, LATEST EDITION.
  - CONTROL JOINTS (TYPE B JOINTS) SHALL BE TOOLED INTO THE FRESH CONCRETE TO A DEPTH EQUAL TO 1/4 THE SLAB THICKNESS AND SPACED APART A DISTANCE EQUAL TO THE WIDTH OF THE SLAB OR 5' WHICHEVER IS LESS.
  - THE SLAB SURFACE SHALL BE BROOM FINISHED TO BE SLIP RESISTANT, AND SHALL MATCH AS CLOSELY AS POSSIBLE THE FINISH OF EXISTING ADJACENT SLABS AND ALL EDGES SHALL BE TOOLED TO ELIMINATE SHARP CORNERS.
  - THE BEARING SUBSURFACE SHALL HAVE ALL ORGANIC, LOOSE, AND DELETERIOUS MATTER REMOVED, AND THE REMAINING CLEAN SOIL SHALL BE SMOOTH, SOUND, AND SOLID. ANY FILL MATERIAL SHALL BE COMPACTED WITH A VIBRATORY OR IMPACT COMPACTION MACHINE IN MAXIMUM 12" LIFTS OR COMPACTED WITH A HAND TAMPER IN MAXIMUM 4" LIFTS THE CITY SHALL REQUIRE A COMPACTION TEST FOR EACH LIFT IF THE TOTAL FILLED SECTION IS MORE THAN 12" DEEP OR IF THE SUBSURFACE HAS BEEN DISTURBED MORE THAN 12" DEEP. WHERE SUCH TEST IS REQUIRED, THE RESULTS SHALL SHOW A MINIMUM PROCTOR FIELD DENSITY OF 95%.
  - ALL CONCRETE WORK IN THE RIGHT-OF-WAY SHALL BE INSPECTED BY THE CITY AFTER THE SUBSOIL IS PREPARED AND THE FORMS ARE SET, BUT BEFORE THE CONCRETE PLACEMENT BEGINS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE FINISHED SLAB FROM ALL DAMAGE AND VANDALISM UNTIL THE CITY ACCEPTS OR APPROVES THE SLAB. AFTER WHICH TIME THE OWNER OF THE ABUTTING LAND SHALL BE RESPONSIBLE FOR THE SLAB IN ACCORDANCE WITH THE CITY CODE. ANY SLAB SECTION DAMAGED OR VANDALIZED PRIOR TO ACCEPTANCE OR APPROVAL SHALL BE CUT OUT BETWEEN JOINTS AND REPLACED. REPAIRS ARE NOT ACCEPTABLE.
  - SIDEWALKS LOCATED WITHIN THE RIGHT-OF-WAY SHALL NOT BE TINTED, STAINED, COLORED, OR COATED.
  - ALL FORMS SHALL BE REMOVED PRIOR TO ACCEPTANCE OR APPROVAL AND THE DISTURBED GROUND SHALL BE BACKFILLED, REGRADED, AND SODDED SO THAT THE WEAR SURFACE OF THE CONCRETE IS REASONABLY FLUSH WITH THE ADJACENT GRADE.
  - SEE FDOT DESIGN STANDARD INDEX 310, LATEST EDITION, FOR REFERENCE.

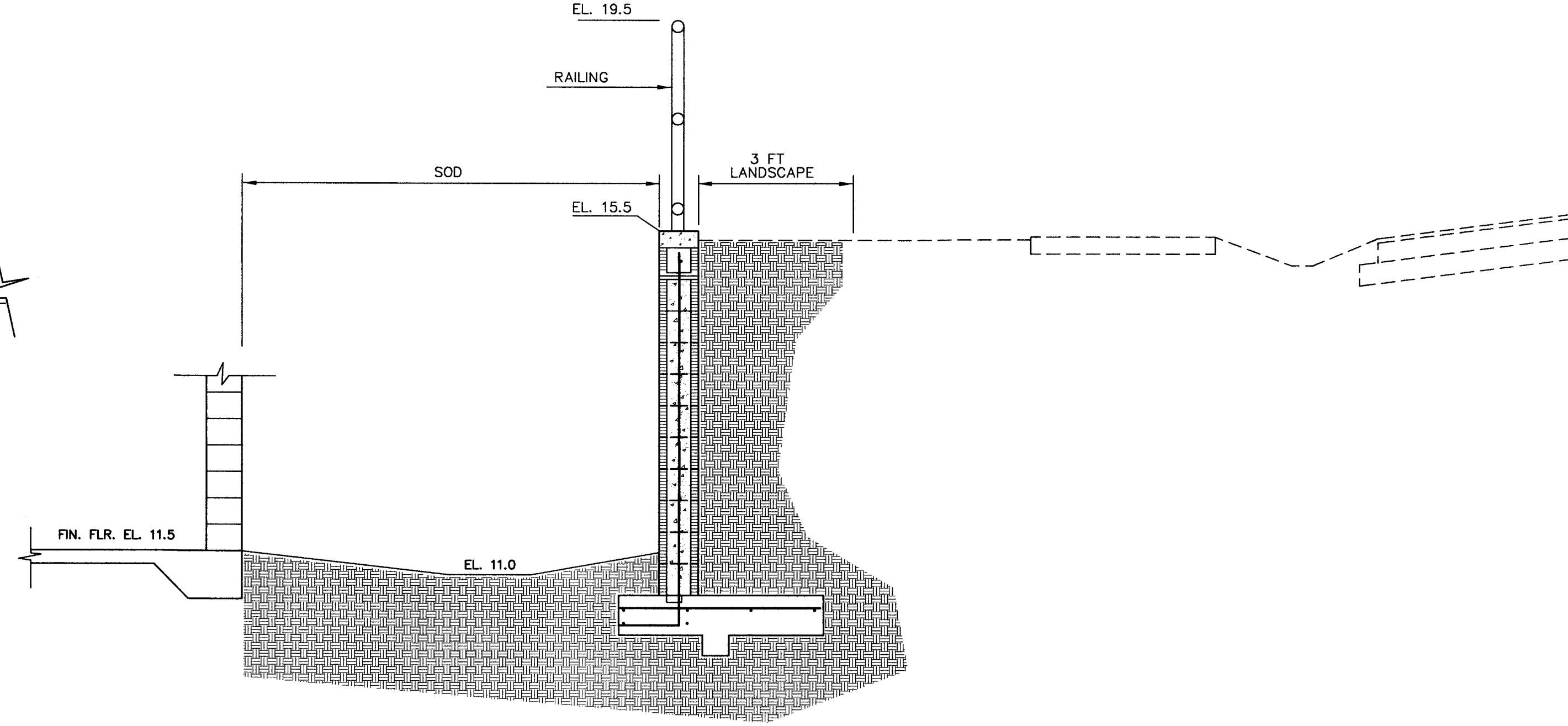
SIDEWALK CONSTRUCTION DETAIL



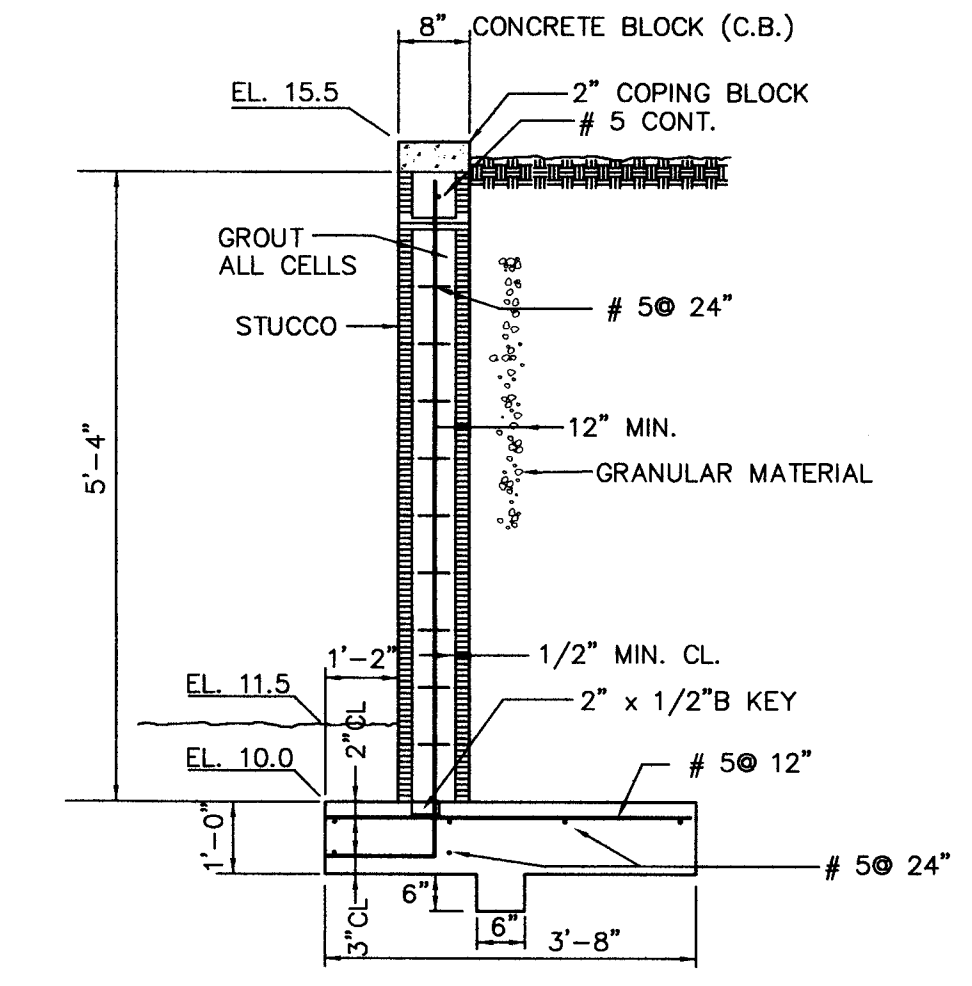
DETECTABLE WARNING



WEIR DETAIL



OCEANSHORE BLVD. RETAINING WALL DETAIL



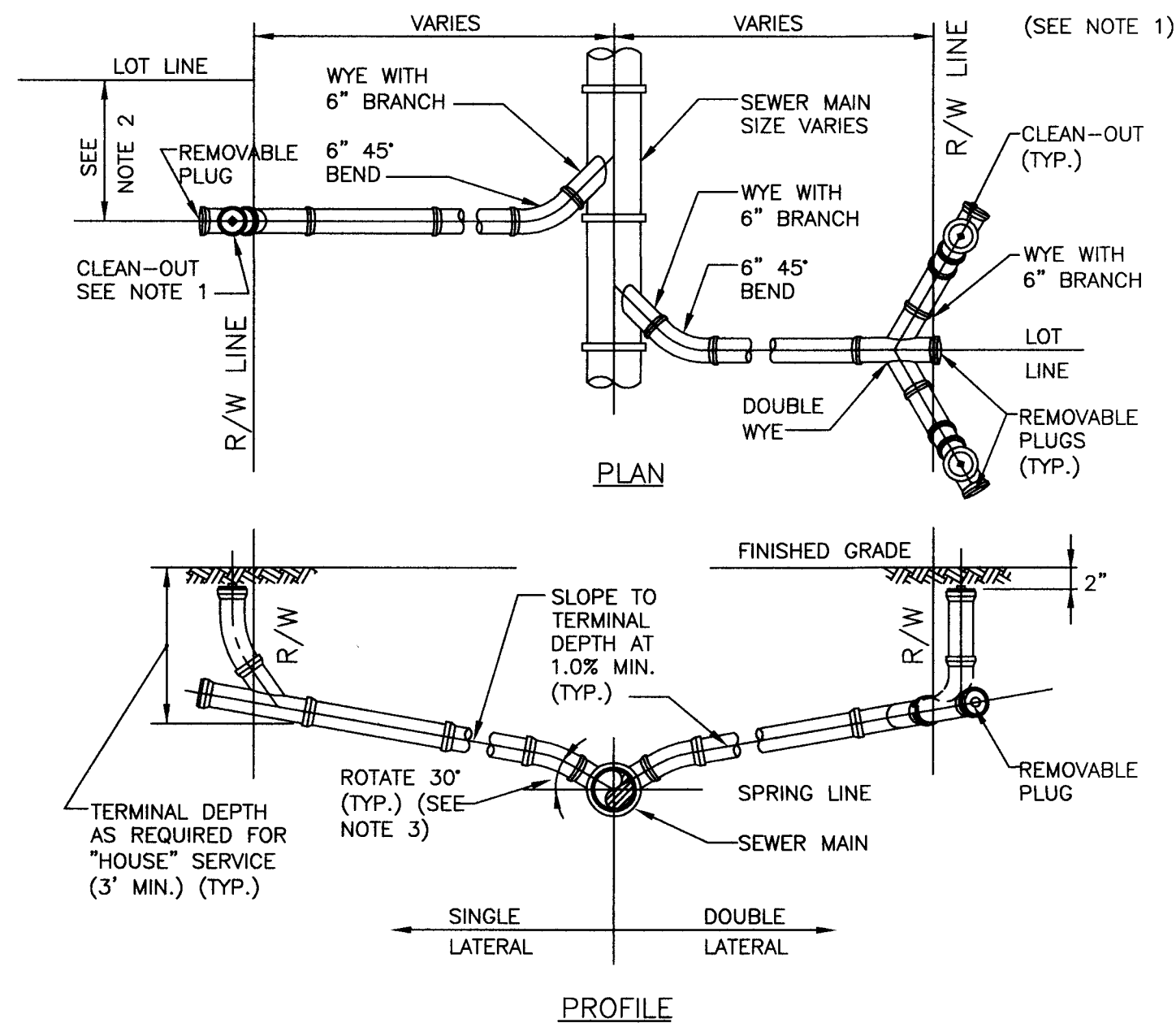
RETAINING WALL DETAIL

NO.	DATE	DESCRIPTION	BY
REVISIONS			
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b> PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL FLORIDA 32117 (386)677-6891 FAX (386)677-2114 email: info@parkermynchenberg.com CERTIFICATE OF AUTHORIZATION NUMBER: 00003910			
PAVING AND DRAINAGE DETAILS			
SUNSET INLET SUBDIVISION			
BEVERLY BEACH FLAGLER COUNTY FLORIDA			
FILE NO.	PD.DWG	DESIGNER: MYNCHENBERG	
DATE:	3.25.2012	DRAFTSMAN: B. HARDEN	
SCALE:	NOTED	SHEET 16A OF 18	SEAL



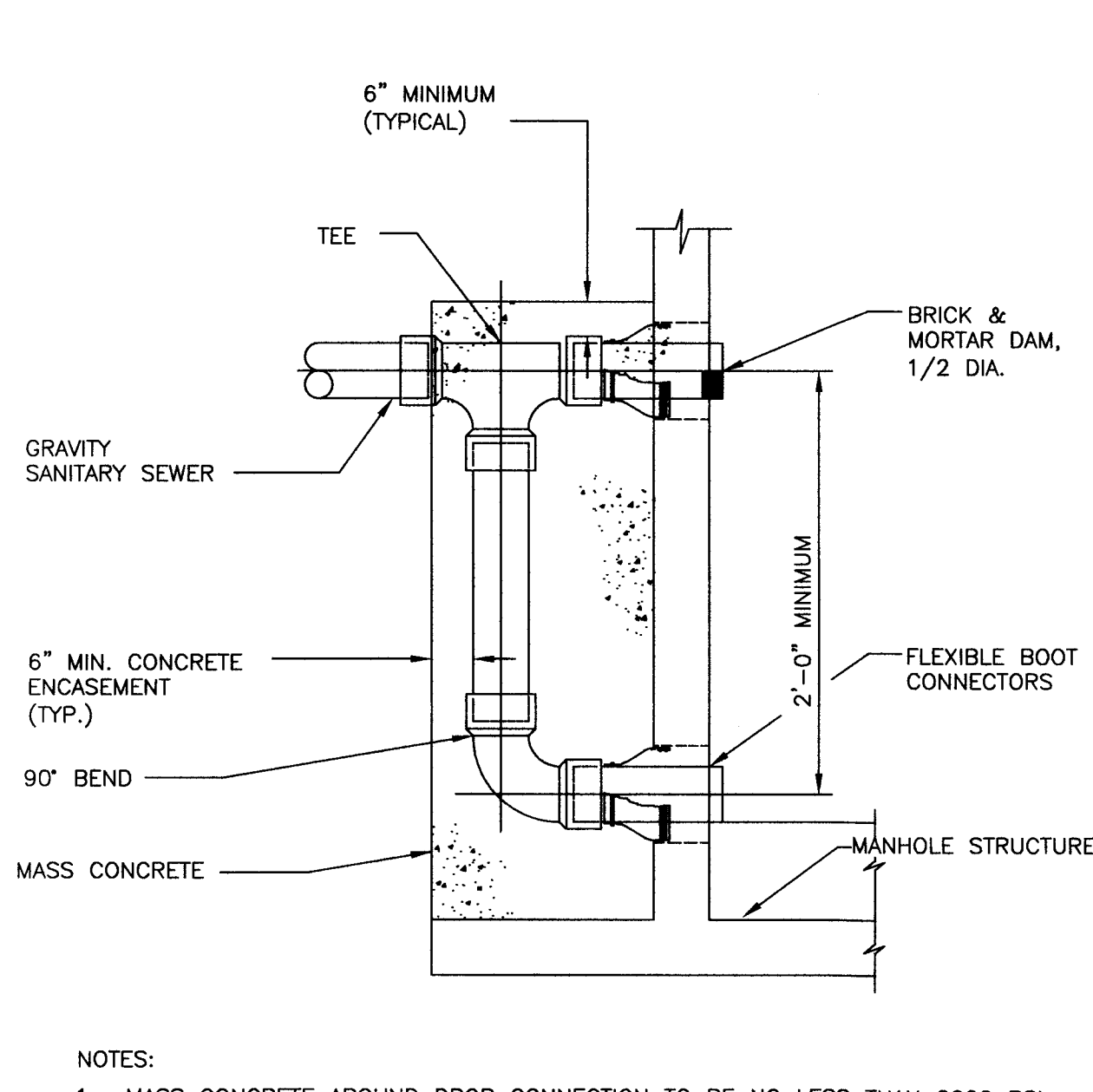






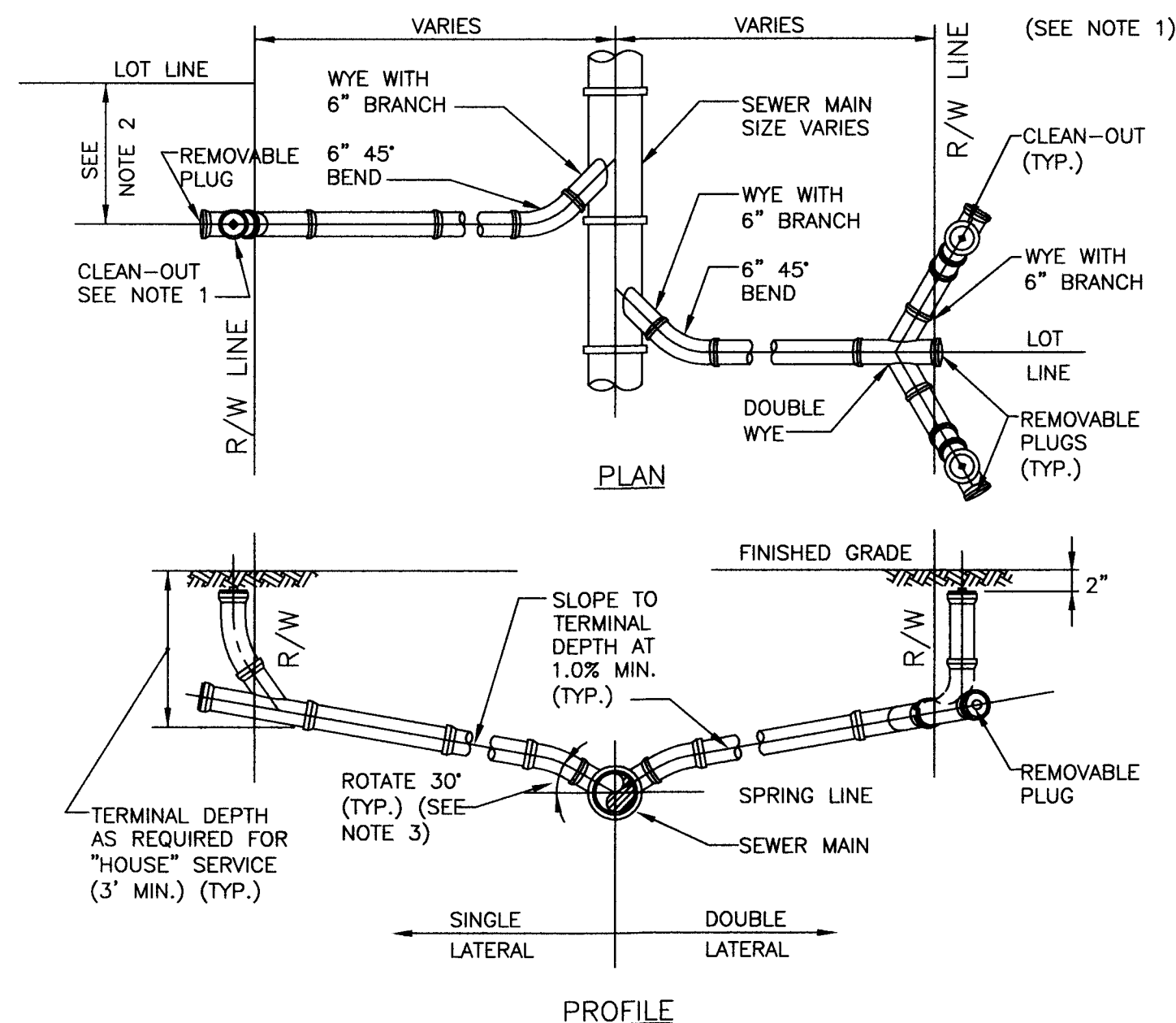
- NOTES:**
- CLEAN-OUT (SHOWN DASHED) SHALL BE INSTALLED BY THE UTILITY CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
  - LOCATE DOUBLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 5' MAXIMUM.
  - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
  - DOUBLE SERVICE LATERAL TO BE USED ONLY WHEN BOTH BUILDING SLAB ELEVATIONS ARE WITHIN 0.33 FEET (4 INCHES).

### TYPICAL SERVICE LATERAL DETAIL



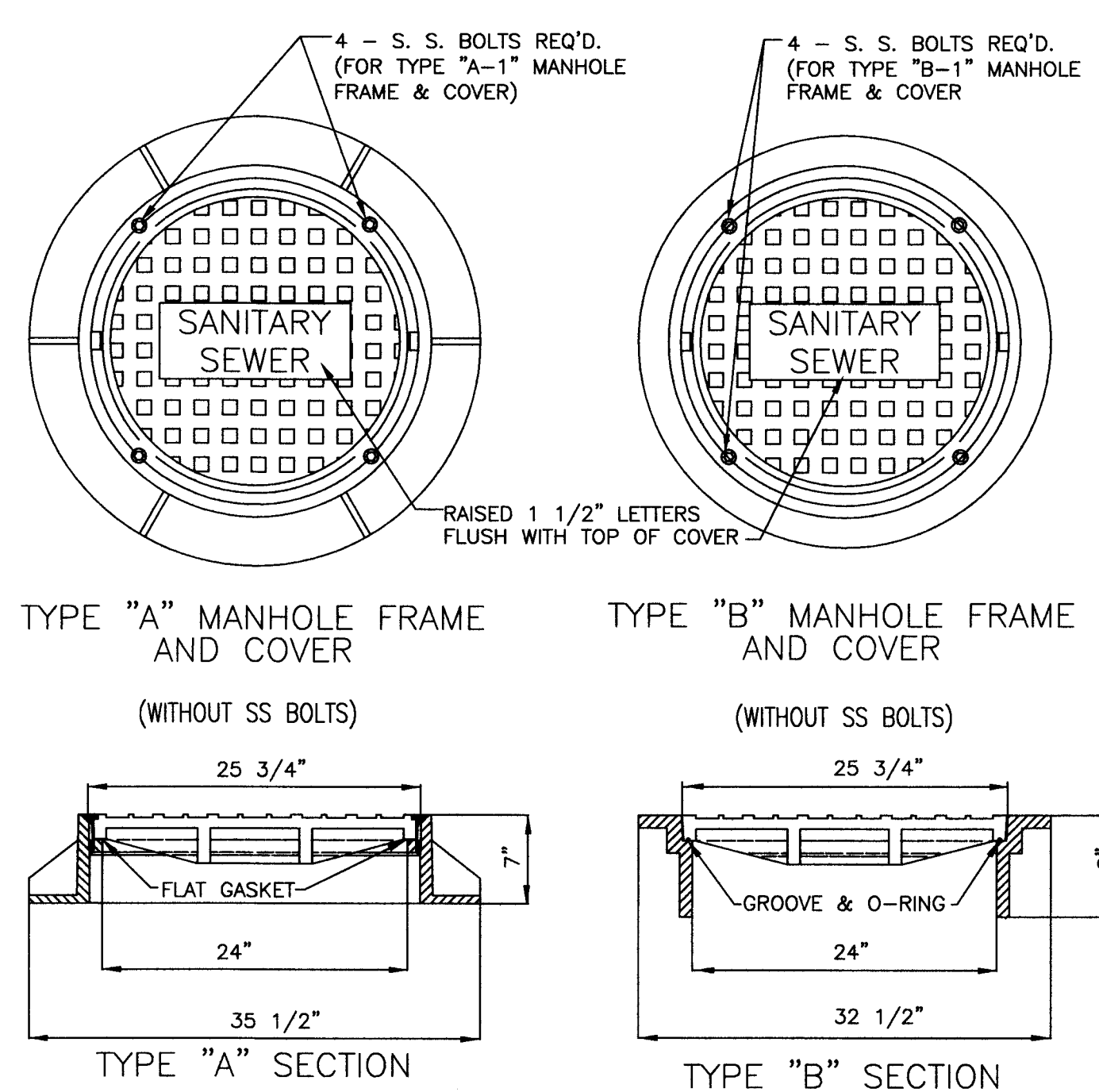
- NOTES:**
- MASS CONCRETE AROUND DROP CONNECTION TO BE NO LESS THAN 2000 PSI CONCRETE.
  - DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIALS AS THE INFLUENT SEWER.
  - AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT CONNECTIONS WHICH HAVE A DIFFERENCE OF 2'-0" OR MORE BETWEEN INVERTS.

### DROP MANHOLE DETAIL



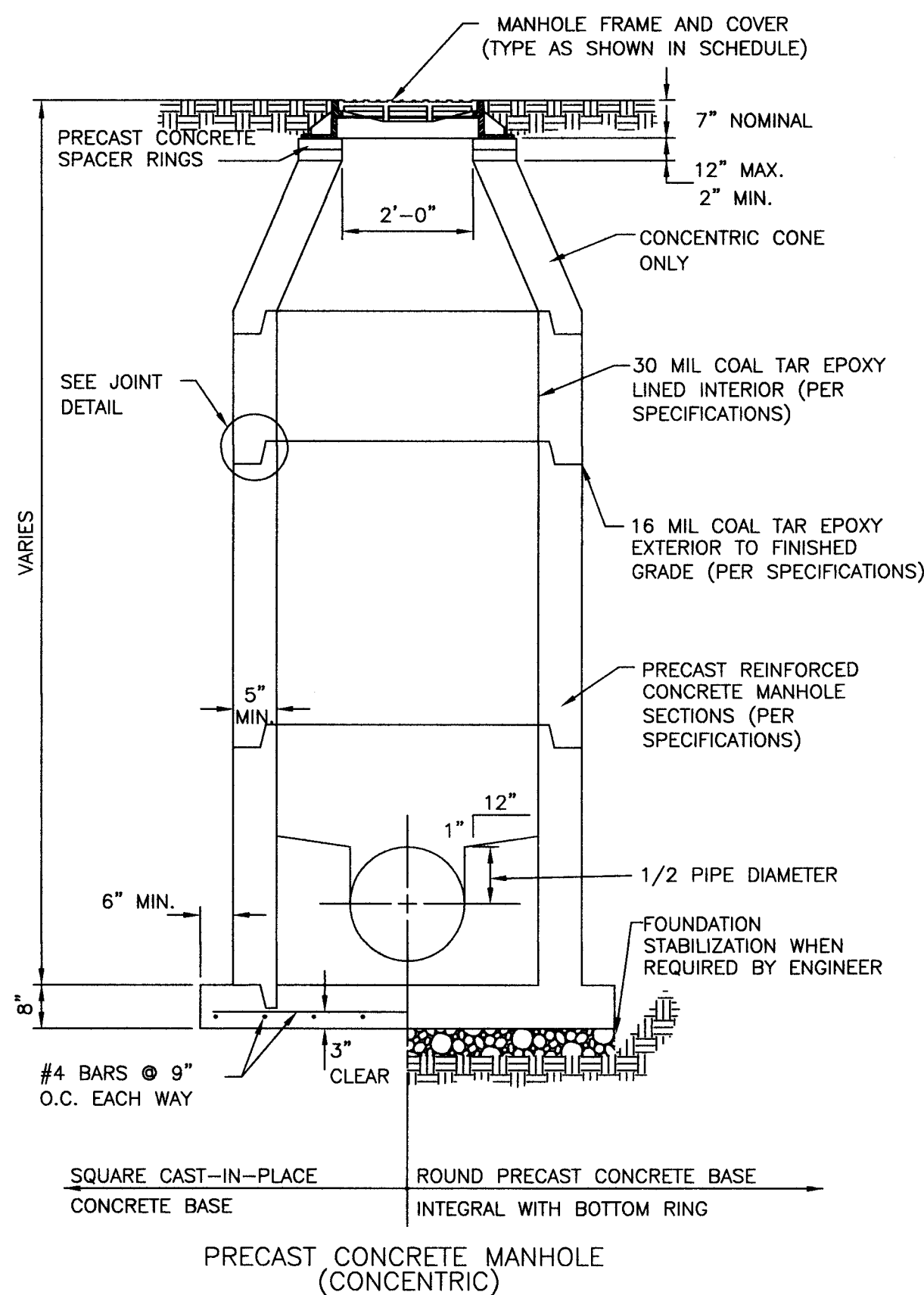
- NOTES:**
- CLEAN-OUT (SHOWN DASHED) SHALL BE INSTALLED BY THE UTILITY CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
  - LOCATE DOUBLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 5' MAXIMUM.
  - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
  - DOUBLE SERVICE LATERAL TO BE USED ONLY WHEN BOTH BUILDING SLAB ELEVATIONS ARE WITHIN 0.33 FEET (4 INCHES).

### TYPICAL SERVICE LATERAL DETAIL



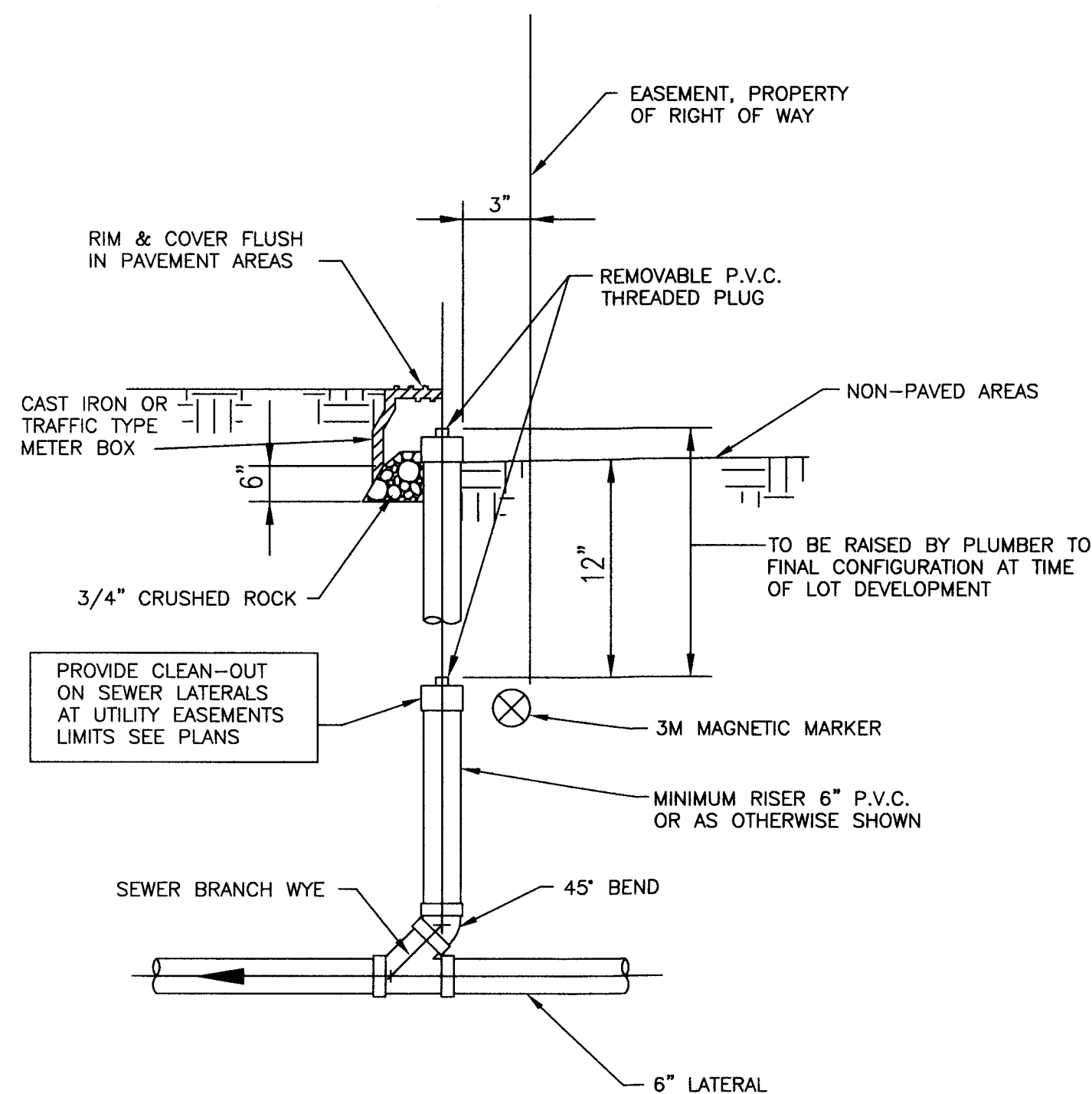
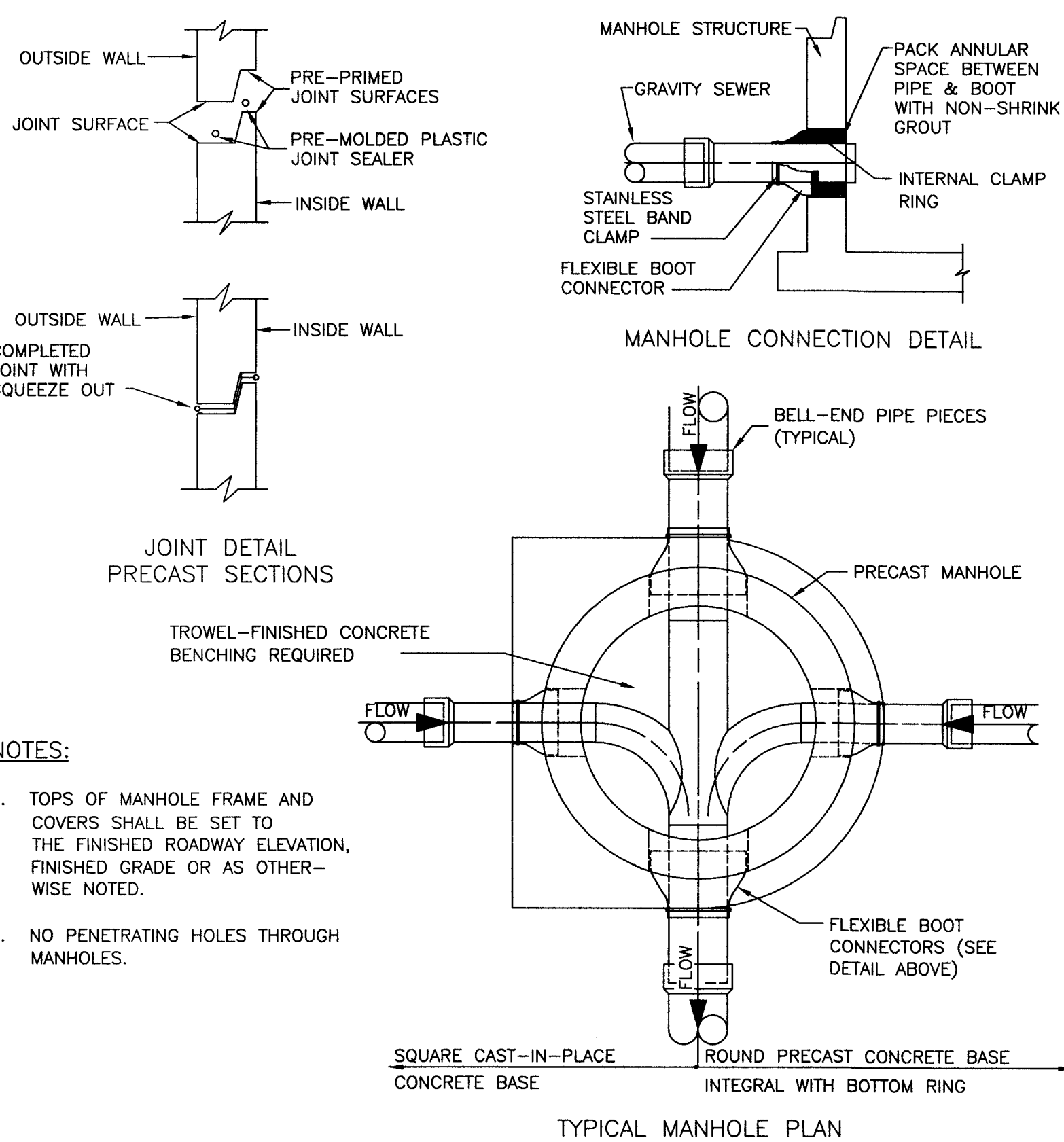
- NOTES:**
- TYPE "A-1" & "B-1" BOLTED WATERTIGHT RING AND COVER; US FOUNDRY NO. 227-AS-BWT (TYPE "A-1") & NO. 1295-AS-BWT (TYPE "B-1") OR APPROVED EQUAL.
  - TYPE "A" & "B" NON-BOLTED WATERTIGHT RING & COVER US FOUNDRY NO. 227-AS-ORS (TYPE "A") & NO. 1295-AS-ORS (TYPE "B") OR APPROVED EQUAL.
  - MANHOLE COVERS ARE TO BE LABELED AS SHOWN ABOVE.

### MANHOLE FRAME & COVER



- NOTES:**
- TOPS OF MANHOLE FRAME AND COVERS SHALL BE SET TO THE FINISHED ROADWAY ELEVATION, FINISHED GRADE OR AS OTHERWISE NOTED.
  - NO PENETRATING HOLES THROUGH MANHOLES.

### STANDARD MANHOLE DETAIL (TYPE II)



### SEWER CLEANOUT

NO.	DATE	DESCRIPTION	BY
REVISIONS			
<b>PARKER MYNCHENBERG &amp; ASSOCIATES, INC.</b> PROFESSIONAL ENGINEERS * LANDSCAPE ARCHITECTS 1729 RIDGEWOOD AVENUE HOLLY HILL, FLORIDA 32117 (386)677-6891 FAX(386)677-2114 E-MAIL: info@parkermynchenberg.com			
SANITARY COLLECTION SYSTEM DETAILS			
SUNSET INLET SUBDIVISION			
BEVERLY BEACH FLAGLER COUNTY FLORIDA			
FILE NO. WD.DWG	DESIGNER: P.MYNCHENBERG		
DATE: 3.25.2012	CADD TECH: B HARNDEN		
SCALE: NOT TO SCALE	SHEET 18 OF 18		

SEAL