

EXHIBIT A
TO DECLARATION OF CONDOMINIUM

SURVEY/PLOT PLAN, FLOOR PLANS AND ELEVATIONS (attached hereto)

Legal Description of Property:

A PARCEL OF LAND LYING IN PARTS OF SECTIONS 5, 38 AND 39, TOWNSHIP 11 SOUTH, RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE CENTERLINE INTERSECTION OF CLUB HOUSE DRIVE AND PALM HARBOR PARKWAY, A 104 FOOT RIGHT-OF-WAY; THENCE N 20°57'23" W ALONG THE CENTERLINE OF SAID PALM HARBOR PARKWAY 983.06 FEET TO A POINT OF CURVATURE IN SAID CENTERLINE; THENCE N 69°02'37" E ON A RADIAL LINE TO SAID CURVE 52.00 FEET TO A POINT OF CURVATURE ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID PALM HARBOR PARKWAY HAVING A TANGENT BEARING OF N 20°57'23" W; THENCE NORTHERLY ALONG SAID CURVE BEING CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 852.00 FEET AND A CENTRAL ANGLE OF 23°33'24", A DISTANCE OF 350.29 FEET; THENCE N 69°10'12" E 160.41 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N 69°10'12" E 70.00 FEET; THENCE S 33°21'53" E 147.82 FEET; THENCE N 87°49'48" W 150.35 FEET; THENCE N 2°10'12" E 92.94 FEET TO THE POINT OF BEGINNING. CONTAINING 0.301 ACRES.

AND

A PARCEL OF LAND LYING IN PARTS OF SECTIONS 5, 38 AND 39, TOWNSHIP 11 SOUTH RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

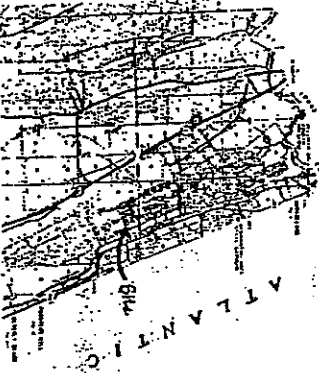
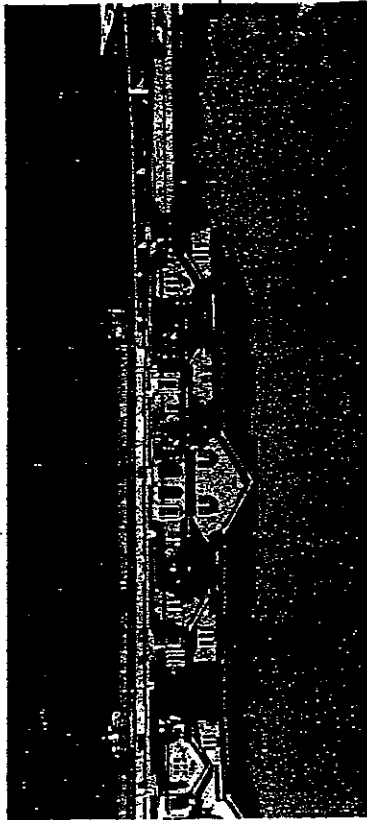
COMMENCE AT THE CENTERLINE INTERSECTION OF CLUB HOUSE DRIVE AND PALM HARBOR PARKWAY, A 104 FOOT RIGHT-OF-WAY; THENCE N 20°57'23" W ALONG THE CENTERLINE OF SAID PALM HARBOR PARKWAY, 983.06 FEET TO A POINT OF CURVATURE IN SAID CENTERLINE; THENCE N 69°02'37" E ON A RADIAL LINE TO SAID CURVE 52.00 FEET TO A POINT OF CURVATURE ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID PALM HARBOR PARKWAY; THENCE S 20°57'23" E ALONG SAID EASTERLY RIGHT-OF-WAY LINE 263.06 FEET TO A POINT ON THE NORTH LINE OF CLUB HOUSE WATERWAY; THENCE N 61°50'56" E ALONG SAID NORTH LINE OF CLUB HOUSE WATERWAY 308.20 FEET; THENCE N 69°02'37" E ALONG NORTH LINE OF CLUB HOUSE WATERWAY 128.79 FEET; THENCE N 36°20'26" W 139.02 FEET; THENCE S 68°37'08" W 167.30 FEET TO THE POINT OF BEGINNING; THENCE S 57°22'02" W 73.45 FEET; THENCE N 70°49'48" W 105.00 FEET; THENCE N 42°21'50" E 136.15 FEET; THENCE S 71°18'27" E 10.00 FEET; THENCE N 69°10'12" E 15.62 FEET; THENCE S 24°48'28" E 107.77 FEET TO THE POINT OF BEGINNING. CONTAINING 0.277 ACRES.

AND

A PARCEL OF LAND LYING IN PARTS OF SECTIONS 5, 38 AND 39, TOWNSHIP 11 SOUTH RANGE 31, EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE CENTERLINE INTERSECTION OF CLUB HOUSE DRIVE AND PALM

New Condominium Units Marina Cove Landings Condominium Flagler County, Florida



Location Plan

List of Drawings

1. Cover
2. Site Plan
3. General Floor Plan - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
4. Second Floor Plan - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
5. Roof Plan - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
6. Elevation - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
7. Elevation - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
8. Elevation - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
9. Elevation - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
10. Elevation - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
11. Elevation - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
12. Elevation - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
13. Elevation - Bldg. "A", "B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z"
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Walter J. O'Kon
ARCHITECT
Makemson Engineering
Consulting Engineer
Slimes and Rosch, P.A.
Consulting Engineers

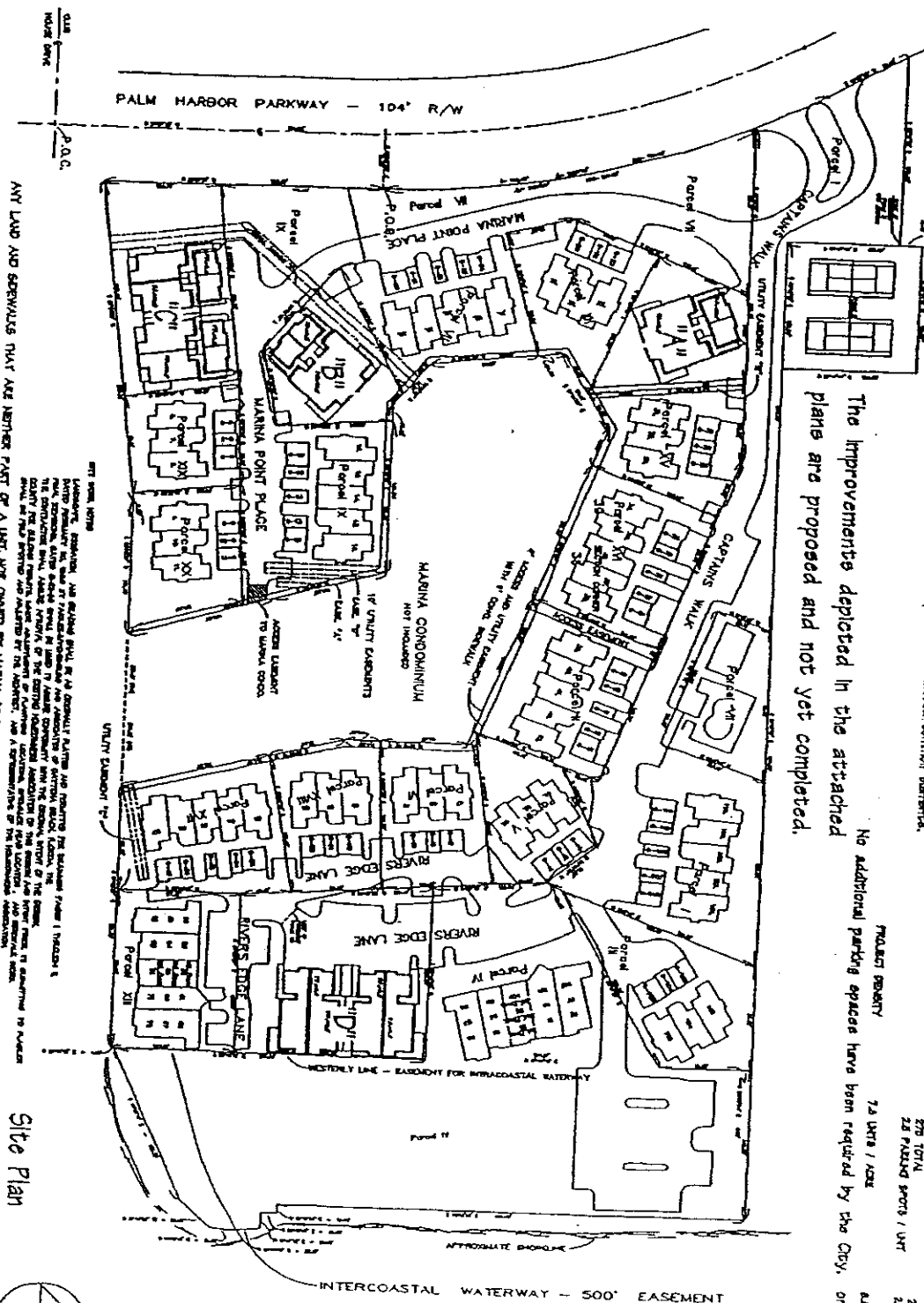
1	Palm West Home Realty FLORIDA COUNTY - FLORIDA WALTER JAMES O'KON ARCHITECT COVER	1. Please Print Name Here Name: Walter J. O'Kon Firm: Walter J. O'Kon Address: 1000 N. 10th St. Tallahassee, FL 32301
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[illegible]

The improvements depicted in the attached plans are proposed and not yet completed.

	75 UNITS / ACRE	85 UNITS / ACRE
No additional parking spaces have been required by the City, or the County.		

LAND USE	NET AREA	HAZ. AREAS	NEW LAYOUT
TOTAL URBAN			
PARKING REQUIRED			84
2 PLOTS / UNIT			82
1/2 PLOT / VENDOR			44
TOTAL			240
PARKING PROVIDED			
OVERALL			80
PAVED			84
PAVED CIRCULAR DRIVEWAYS			12



ANY LAND AND SIDEWALKS THAT ARE NEXT

Site Plan

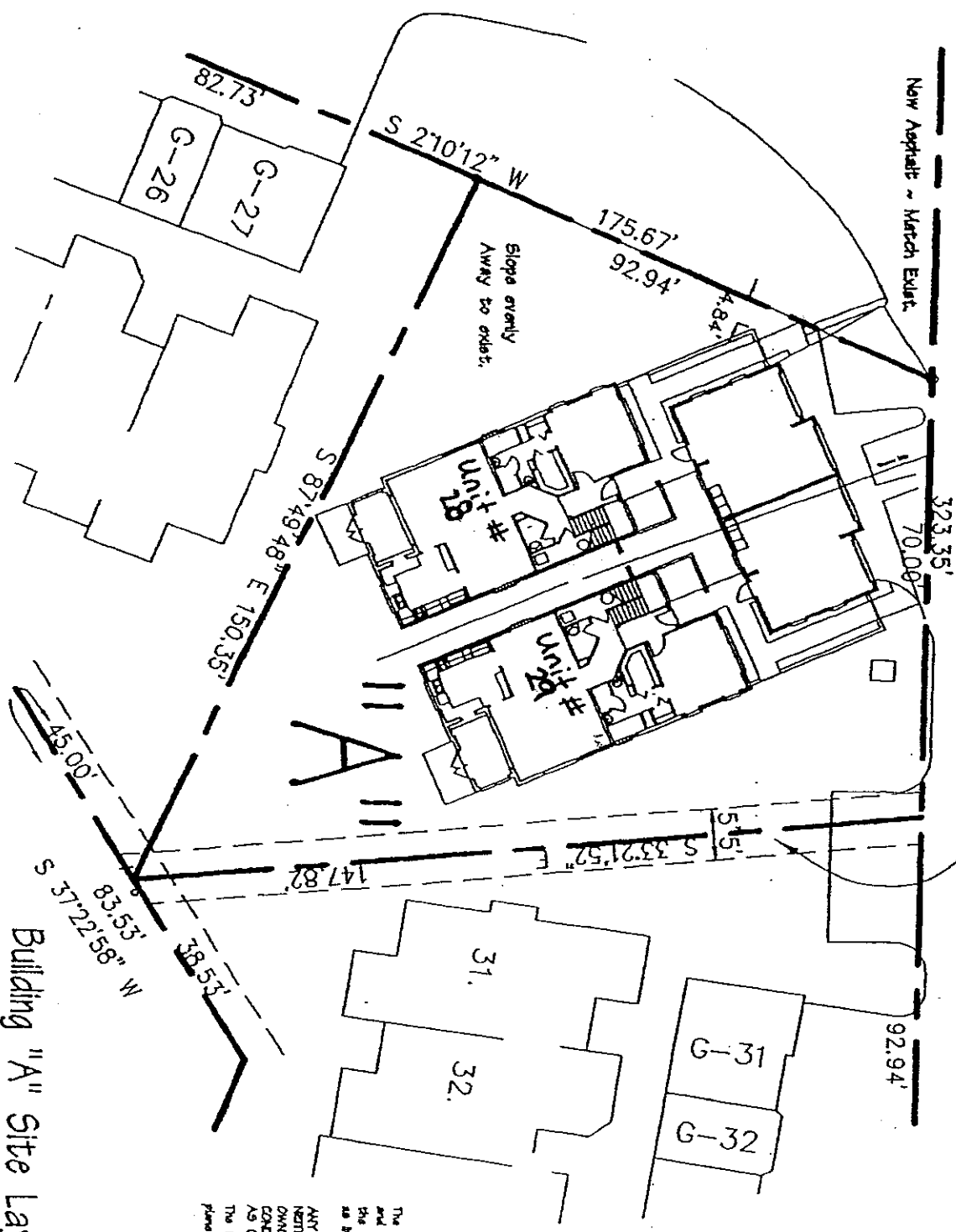
No additional parking spaces have been required by the City, or the County.

N 69°10'12" E 123.00'

375.46'

UTILITY EASEMENT "B"

- LEGEND
- 1" = 10'
 - 1" = 20'
 - 1" = 30'
 - 1" = 40'
 - 1" = 50'
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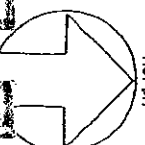
The easements, terraces, garages, and driveway were constructed and are to the street are specified as noted common elements.

ANY LAND AND SPRAWLS THAT ARE PART OF A UNIT, NOW OWNED BY WANDA COVE AT PALM COAST AS COMMON ELEMENTS. The improvements depicted in the attached plans are proposed and not yet completed.

Building "A" Site Layout

Scale: 1" = 10' 0" = 100'

North



Palmetto West Home Realty
FLORIDA REAL ESTATE
Bldg. "A" Site Layout

WALTER JAMES O'KON
ARCHITECT

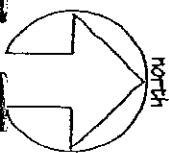
PALMETTO WEST HOME REALTY
FLORIDA REAL ESTATE



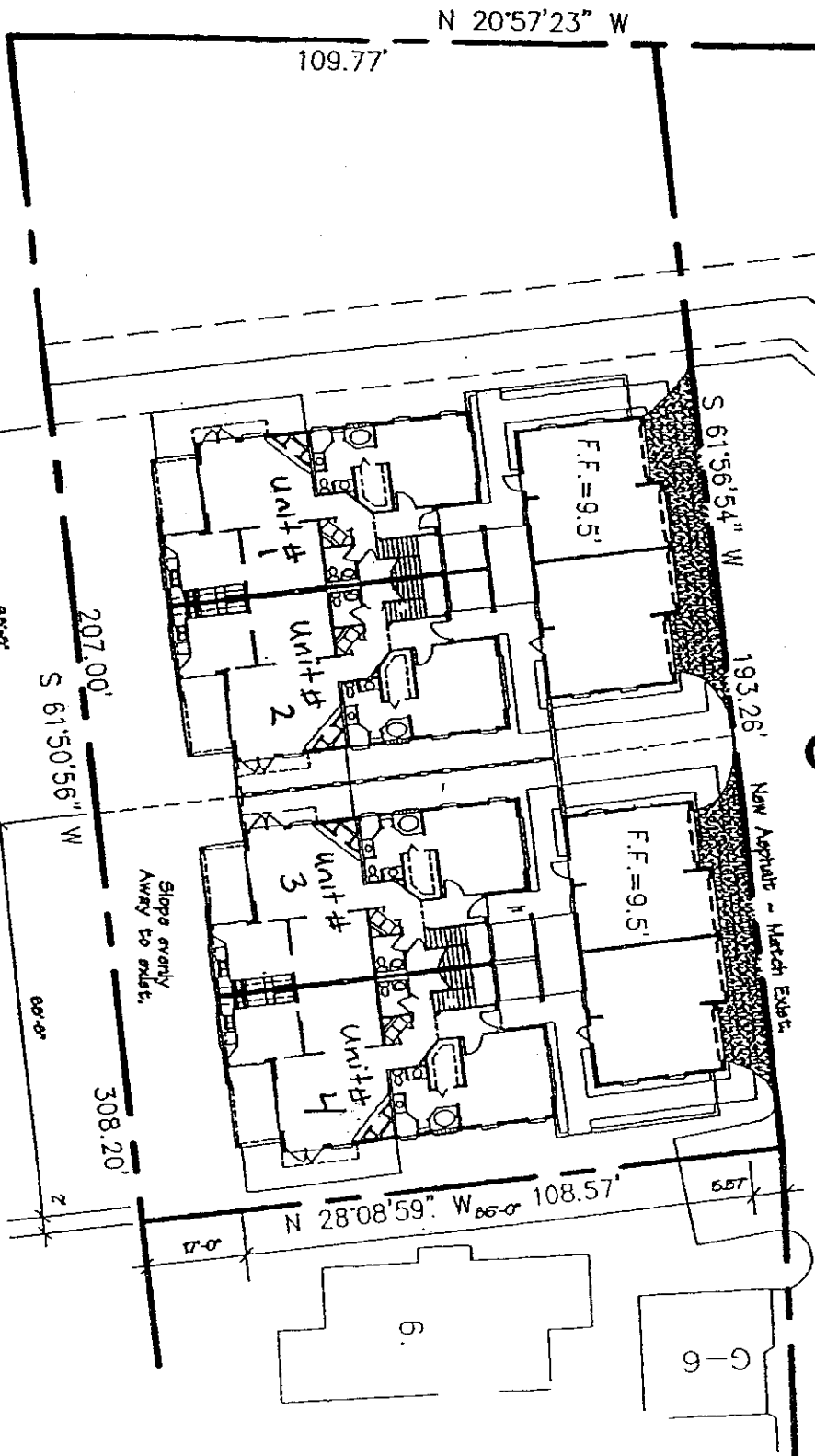
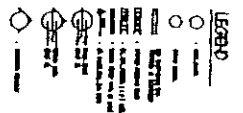


ANY LAND AND SDE/STATUS THAT ARE NEITHER PART OF A LIT, NOR OWNED BY HAWAII, COME AT PALM COAST COUNCILING ARE SCEPTED AS COMMON ELEMENTS.

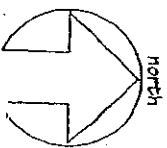
Ends : 118° - 110°



No additional parking spaces have been requested by the City, or the County.

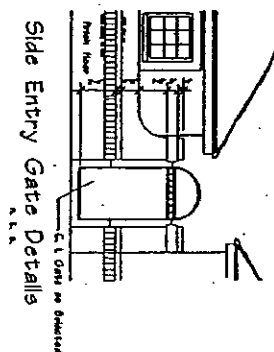


Building "C" Site Layout

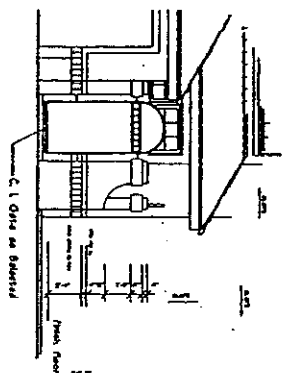
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Side Entry Gate Details

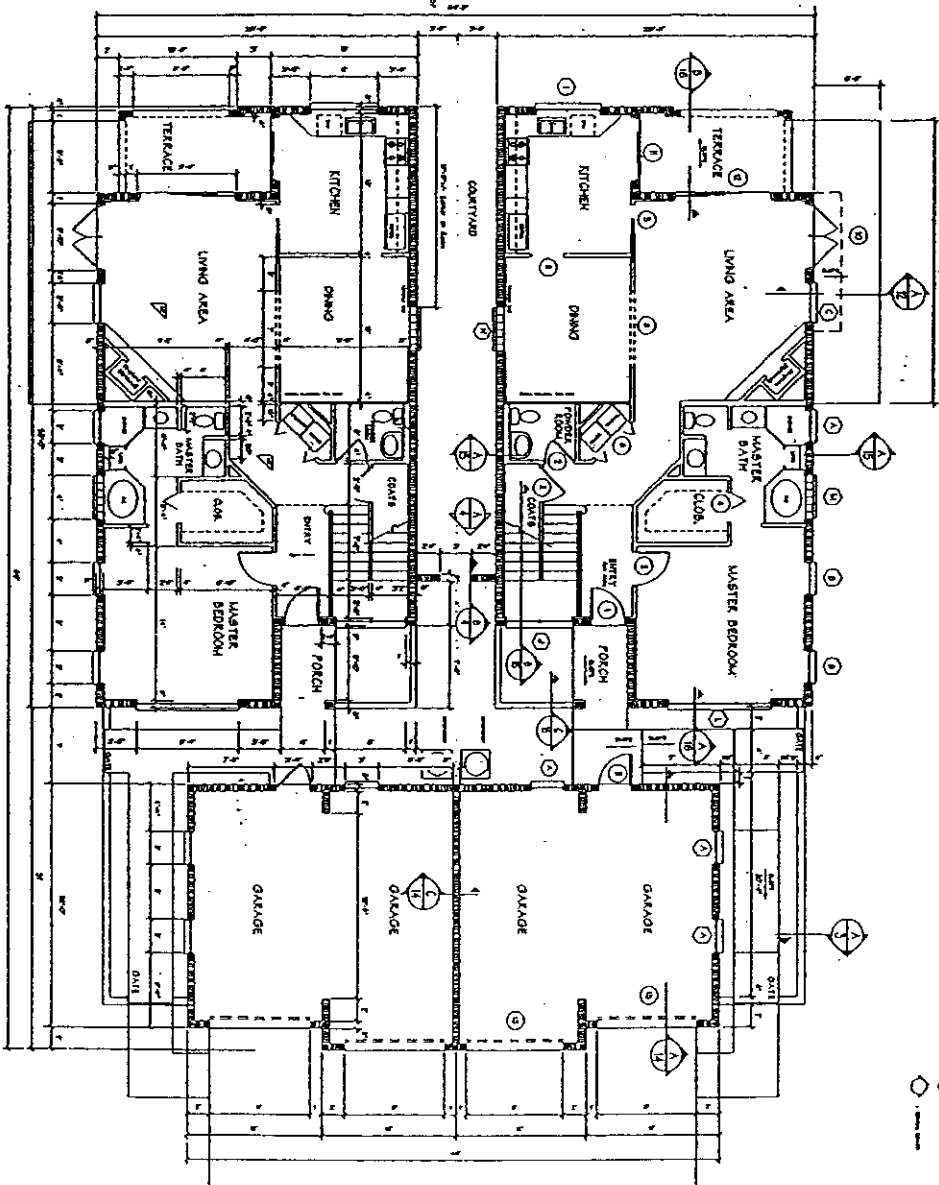
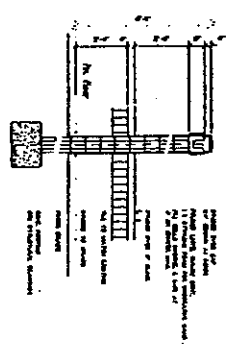


Front Entry Gate Details



Typical Privacy Wall

Note: 11' 2" x 1.0'



Ground Floor Plan ~ Bldg. "A", "B"

Note: 11' 4" x 1.0'

AREA SUMMARY

Ground Floor 1065 Sq. Ft.
Second Floor 850 Sq. Ft.
Living Area 2235 Sq. Ft.

Home Case Construction
Palm West Home Realty
Palm Beach County, FL
Ground Floor Plan Bldg. "A", "B"

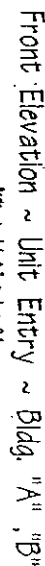
WALTER JAMES O'KON
ARCHITECT

PALM WEST
HOME BUILDERS

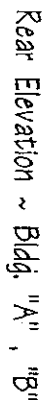


Back 1 5 7 8 9 a 1 - 0

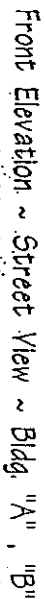




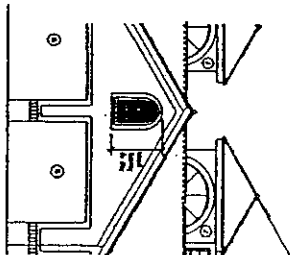
HOTEL SET ROOF PLAN FOR GUTTER AND DOWNSPOUT LOCATIONS



NOTE: SEE ROOF PLAN FOR CUTTER AND DOWNSPOUT LOCATIONS

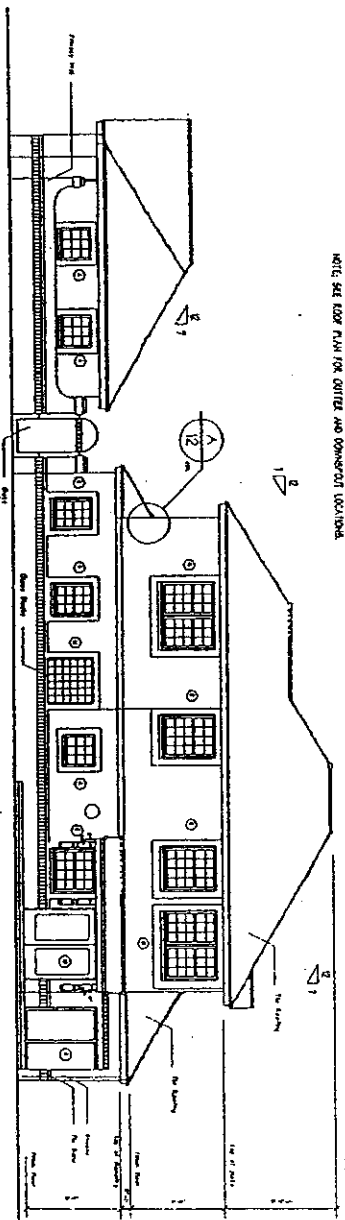
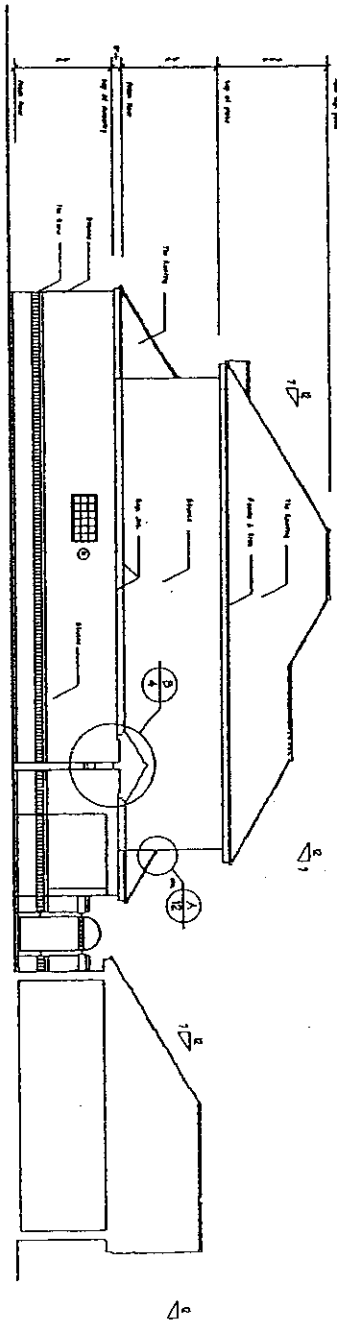
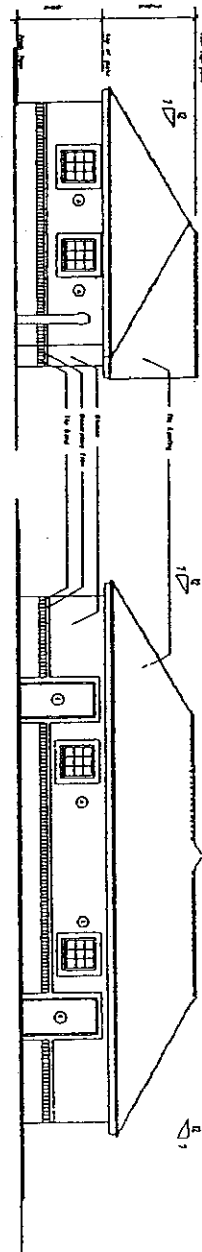


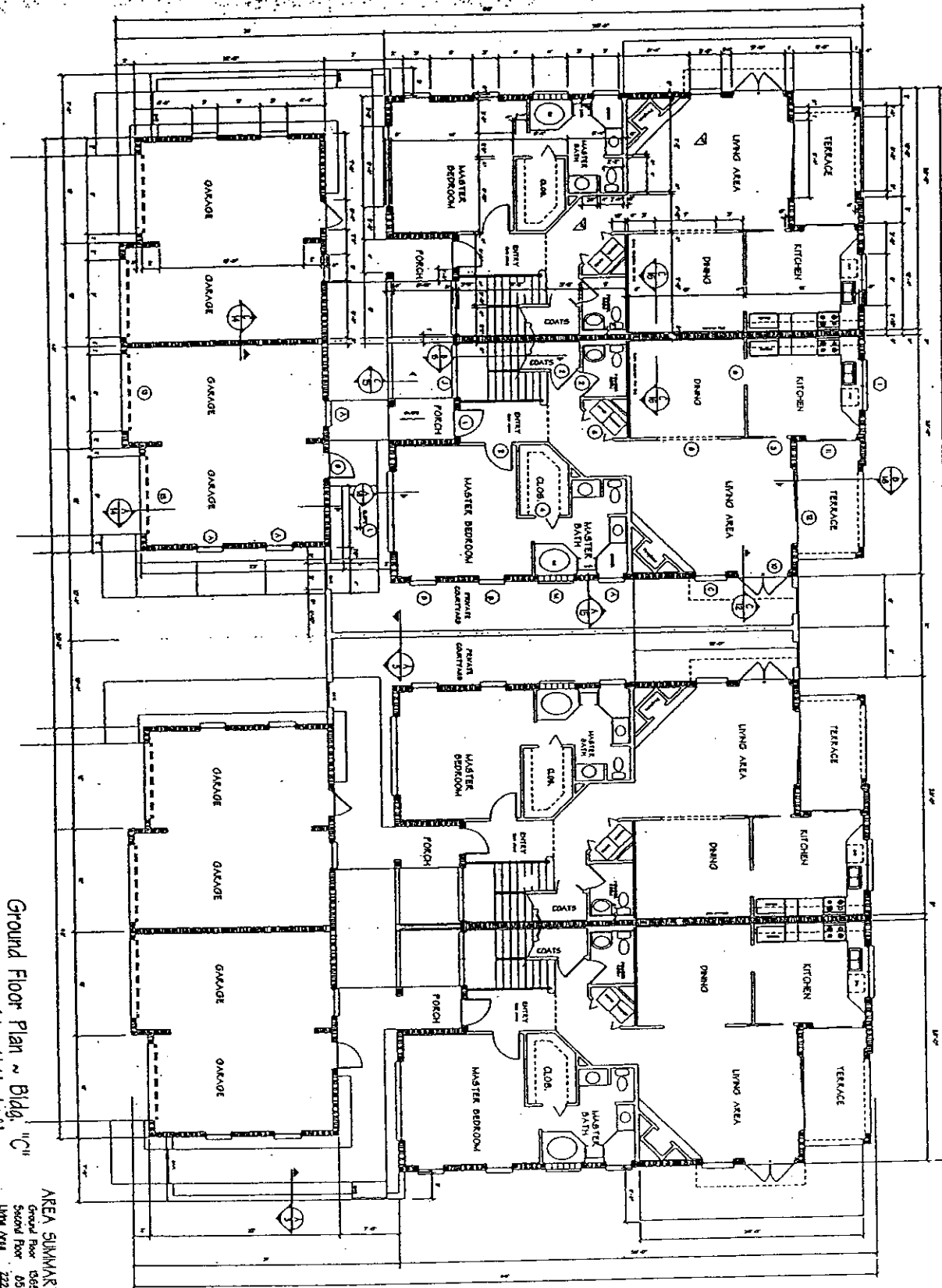
Garage Medallion



Scale : 1" = 4" = 160'

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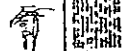
Ground Floor Plan ~ Bldg. "C"

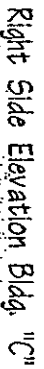
AREA SUMMARY
 Ground Floor 656 Sq. Ft.
 Second Floor 656 Sq. Ft.
 Utility Area 2222 Sq. Ft.

Now Condominium Units
 PLANS ONLY - 1000
 Ground Floor Plan - 0144 "C"

WALTER JAMES O'KON
 ARCHITECT

PADAWEST
 HOME BUILDERS





ELEVATIONS

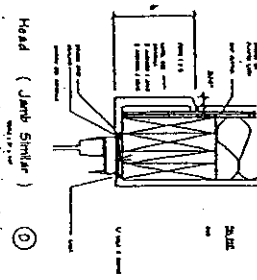
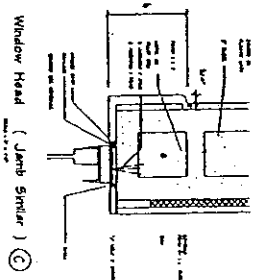
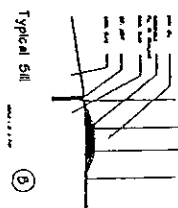
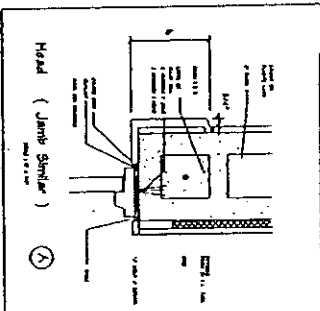
ELEVATIONS

WINDOW SCHEDULE

BOOK

SCHEDULE

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Palm West Home Realty
PLACER COUNTY, CALIFORNIA
Schedule

WALTER JAMES O'KON
ARCHITECT
2001 10th Street, N.W.
400 10th Street, N.W., Atlanta, GA 30309 (404) 524-5270

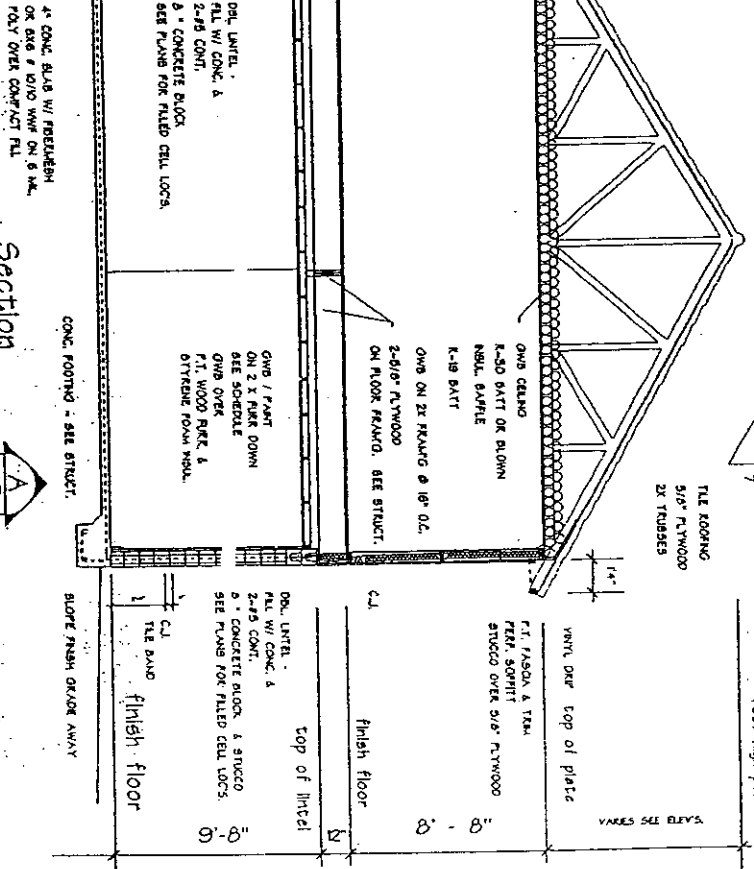
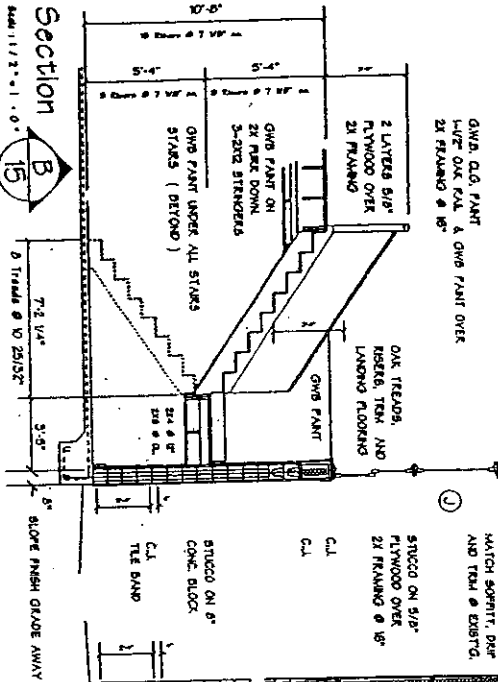
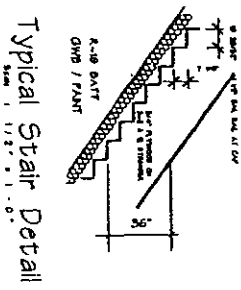
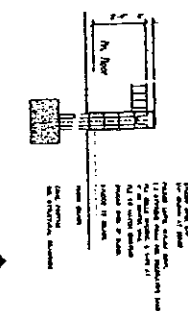
**FALL WEST
HOME BUILDERS**
Residential Home Building and Service

MASONRY Lintel SCHEDULE

Lintel No.	Span	Height	Material
1	4'-0"	8'-0"	Concrete
2	4'-0"	8'-0"	Concrete
3	4'-0"	8'-0"	Concrete
4	4'-0"	8'-0"	Concrete
5	4'-0"	8'-0"	Concrete
6	4'-0"	8'-0"	Concrete
7	4'-0"	8'-0"	Concrete
8	4'-0"	8'-0"	Concrete
9	4'-0"	8'-0"	Concrete
10	4'-0"	8'-0"	Concrete

HEADER, BEAM, JOIST DESIGN

Member	Span	Height	Material
Header	4'-0"	8'-0"	Concrete
Beam	4'-0"	8'-0"	Concrete
Joist	4'-0"	8'-0"	Concrete

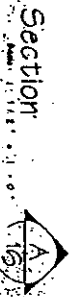


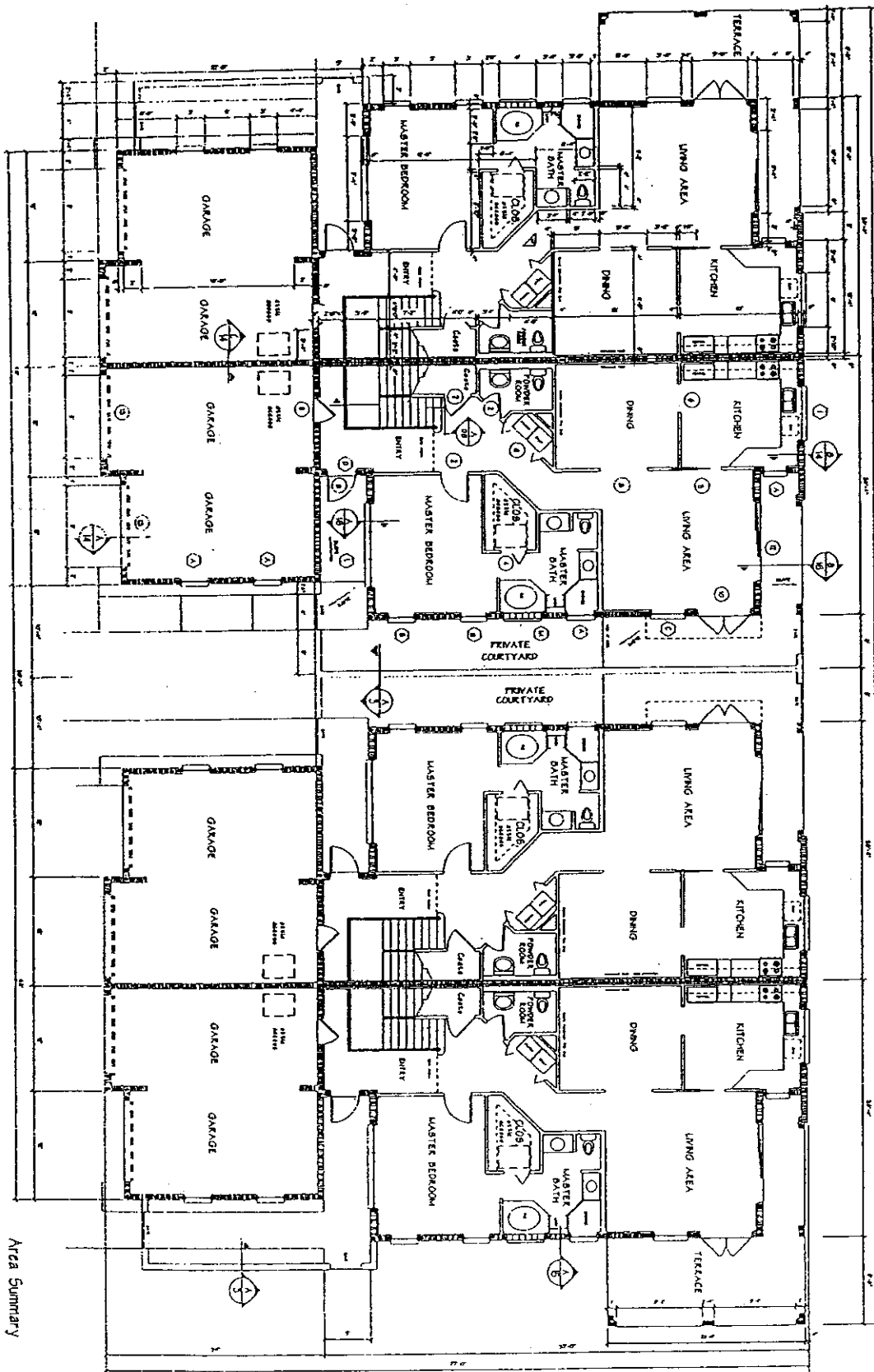
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Falm West Home Realty

WALTER JAMES OKON ARCHITECT

PAID BY THE HOME BUILDER





Ground Floor Plan Bldg. "D"

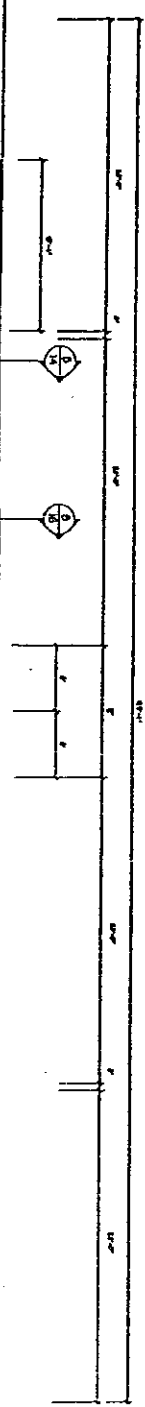
Scale: 1/4" = 1'-0"

Area Summary

Ground Floor
Total Area
200 sq. ft.

JOHN ALICE ARCHITECTS

D1	WALTER JAMES O'KON ARCHITECT 30 S. 1st STREET ST. AUGUSTINE, FLA 32080 (904) 833-0075	PADWEST HOME BUILDERS 2000 W. 1st STREET, SUITE 100 ST. AUGUSTINE, FLA 32080 (904) 833-0075	2. Floor Plan and Detail Report Floor Plan, A, B, C, D, E Ground Floor Plan, A, B, C, D, E Floor Plan, A, B, C, D, E Floor Plan, A, B, C, D, E
	New Condominium Units FLORIDA COUNTY, FLORIDA Ground Floor Plan Bldg. "D"	3. Floor Plan and Detail Report Floor Plan, A, B, C, D, E Ground Floor Plan, A, B, C, D, E Floor Plan, A, B, C, D, E Floor Plan, A, B, C, D, E	



Area Summary

2 FURNACE PARK DRIVE NORTH
FARM COURT, FL 32137
OFFICE: (904) 445-7001
FAX: (904) 445-3041



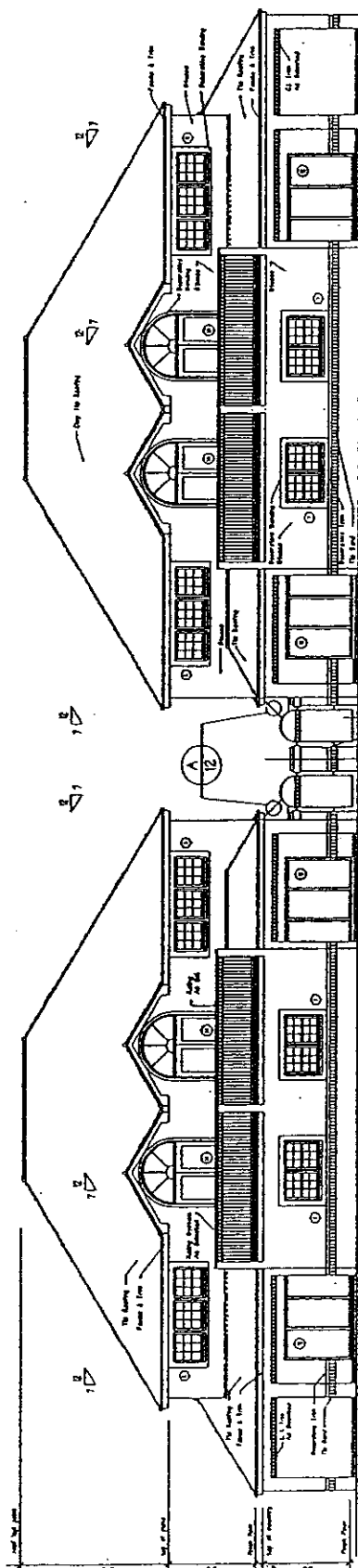
Roof Plan ~ Building 'D' Area Summary

WALTER JAMES OKON ARCHITECT 2000 N. 10th Street, Suite 100, Phoenix, AZ 85016 Tel: 602-955-1234		Project Name: New Condominium Units Location: Phoenix, AZ Date: 10/15/2000		Sheet: D4	
--	--	---	--	------------------	--

- LEGEND
- - Window
 - - Door
 - ▭ - Wall
 - ▭ - Staircase
 - ▭ - Elevator
 - ▭ - Mechanical Room
 - ▭ - Storage Room
 - ▭ - Utility Room
 - ▭ - Laundry Room
 - ▭ - Parking Space
 - ▭ - Landscaping Area
 - ▭ - Fencing
 - ▭ - Signage
 - ▭ - Other

NOTE: SEE ROOF PLAN FOR GUTTER AND DOWNSPOUT LOCATIONS.

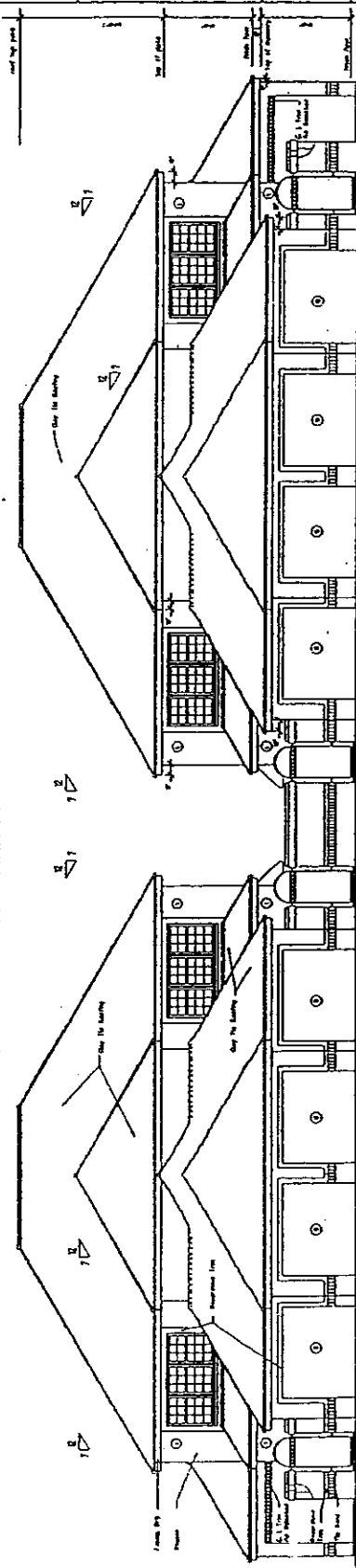
NOTE: SEE ROOF PLAN FOR GUTTER AND DOWNSPOUT LOCATIONS.



Rear Elevation ~ Building "D"

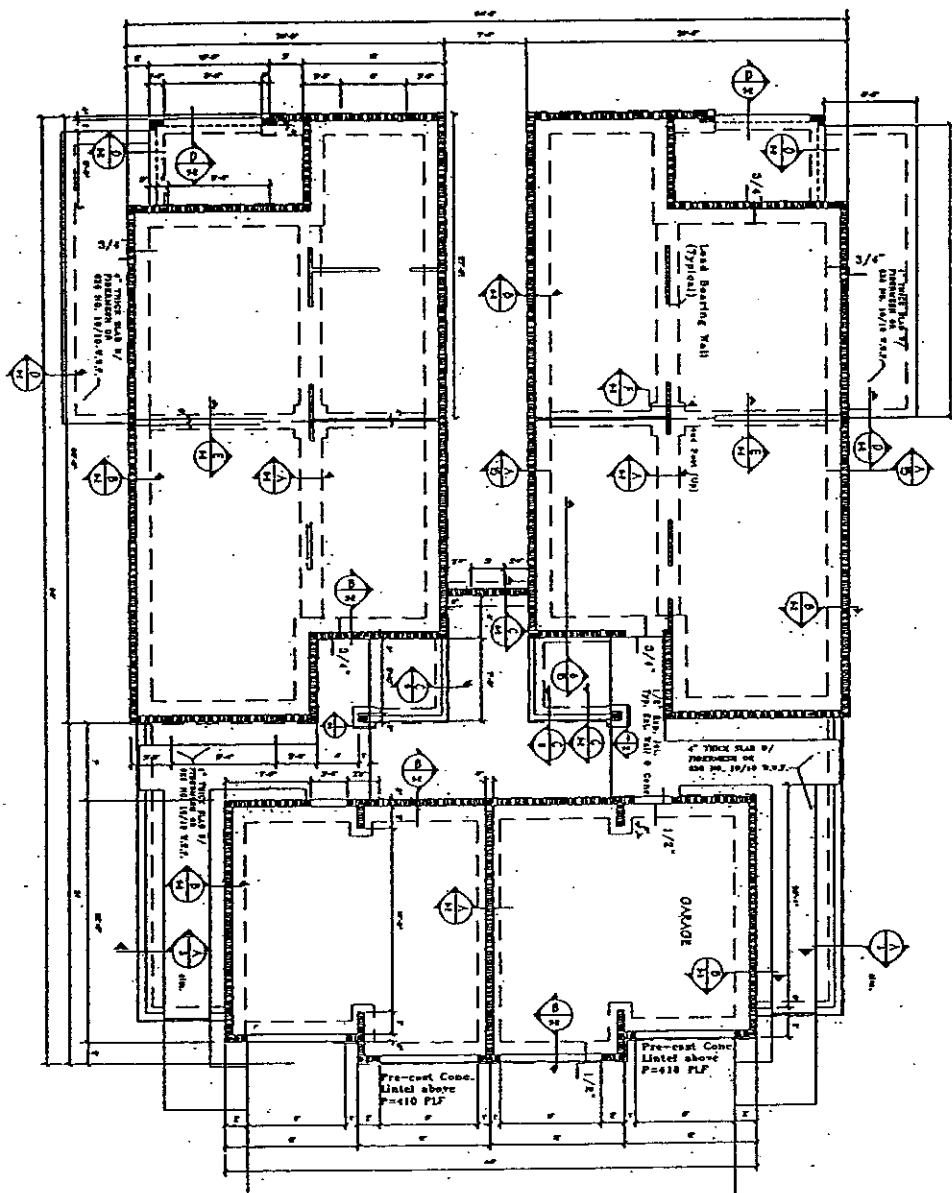
Scale: 1/4" = 1'-0"

NOTE: SEE ROOF PLAN FOR GUTTER AND DOWNSPOUT LOCATIONS.



Front Elevation ~ Building "D"

Scale: 1/4" = 1'-0"



Foundation Plan ~ Bldgs. "A" & "B"

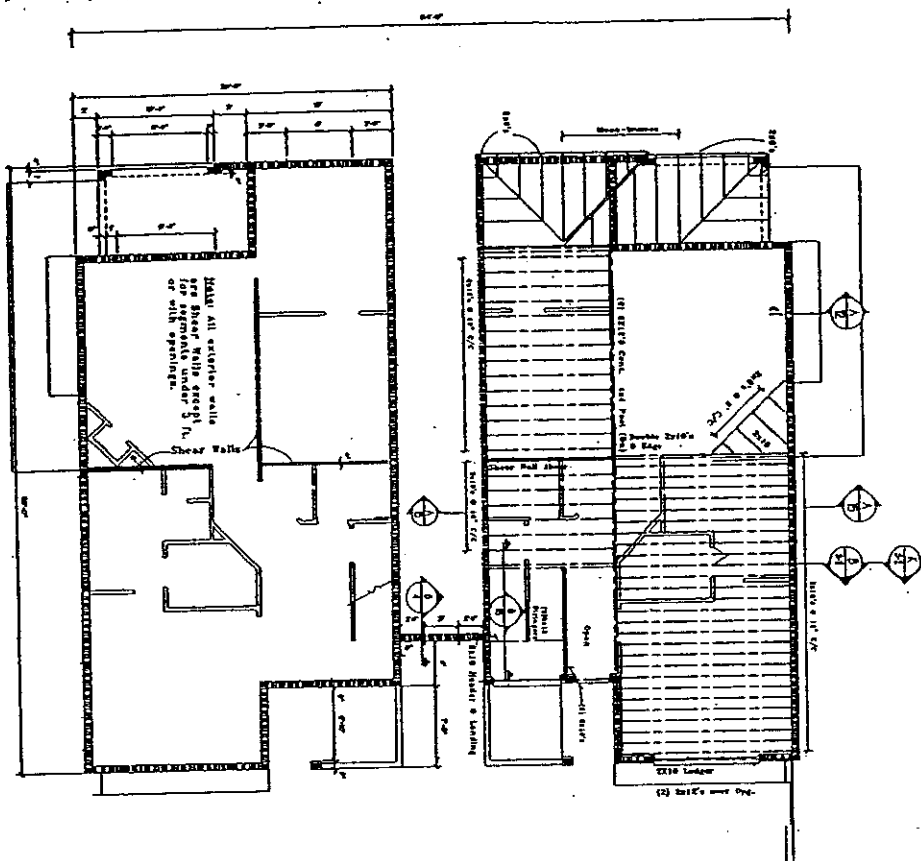
Scale 1/4" = 1'-0"

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R. V. Materson Jr., P.E.
Consulting Engineer
100 South Third Street, Jacksonville, Florida, FL 32204

	WALTER JAMES OXON ARCHITECT		Palm West Home Realty REALTY
	100 AC Foundation Plan 1/4" = 1'-0"		100 AC Foundation Plan 1/4" = 1'-0"

58



2nd Floor Framing Plan ~ Bldgs. "A" & "B"

STRUCTURAL NOTES

DESIGN IS TO BE IN ACCORDANCE WITH THE 1957 SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL

1. LIVE LOADS:

FLOOR 40 PSF

ROOF 20 PSF

2. BASIC WIND LOAD 110 MPH

7/16" = 30.00 DEGREES

ROOF SLOPE 1/2"

WIND ROOF HEIGHT 23.60'

VELOCITY PRESSURE 28.8 PSF

3. ALLOWABLE UNIT STRESSES

CONCRETE: DESIGN PER ACI 318

SLABS ON GRADE: CONVENTIONAL SHALLOW FOOTINGS

& ALL OTHER CONCRETE: 7.5 = 5000 PSI

REINFORCING STEEL: ASTM A615 GRADE 60

WELDED WIRE FABRIC: ASTM A185

CONCRETE MASONRY: DESIGN PER ACI 530-7-16 = 1500 PSI

SOIL BEARING CAPACITY: 5000 PSF (MAX.)

ALL DIMENSION LUMBER MEMBERS AND BEAMS SHALL BE SYP NO. 2

OR BETTER WITH AN ALLOWABLE BENDING STRESS IN ACCORDANCE

WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION

BY AMERICAN FOREST & PAPER ASSOCIATION. ALL STUDS SHALL

BE SYP NO. 2 OR BETTER (UNLESS OTHERWISE NOTED).

UNLESS OTHERWISE SHOWN ON DRAWINGS, MINIMUM CONCRETE COVER

FOR REINFORCING SHALL BE AS FOLLOWS:

FOOTINGS: 5"

SLABS ON GRADE: CENTERED

ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE

REINFORCING STEEL AND PLACING DETAILS OF ACI STANDARDS

AND SPECIFICATIONS. REINFORCING STEEL SHALL BE HELD SECURELY

IN POSITION WITH STANDARDS ACCESSORIES DURING PLACEMENT OF

CONCRETE.

6. SPLICES IN REINFORCING, WHERE PERMITTED, SHALL BE AS FOLLOWS:

MASONRY: 40 BAR DIAMETERS

CONCRETE: 40 BAR DIAMETERS

IF FOOTINGS OCCUR IN UNSTABLE SOIL, THE ENGINEER SHALL

BE NOTIFIED.

7. ALL LOAD BEARING COLUMNS AND EXTERIOR STEEL WALLS SHALL BE

COMPOSED OF ASTM A36 GRADE M-1 ROLLER CONCRETE MASONRY

UNITS WITH TYPE "S" MORTAR. FILL ALL CELLS CONTAINING

VERTICAL REINFORCEMENT WITH 3000 PSI CONCRETE. FILL ALL CELLS

BELOW FINISHED GRADE WITH 3000 PSI CONCRETE.

8. PROVIDE REQUIRED TEMPORARY BRACING, SHORING, OR OTHER

MEANS TO SUPPORT STRUCTURAL ELEMENTS IN PLACE DURING

CONSTRUCTION.

9. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.

SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING

DRAWINGS FOR EMBEDED, OPENING, ELEVATOR, ETC. THAT ARE NOT

SHOWN ON THE STRUCTURAL DRAWING.

11. THE DESIGN OF THE PRE-ENGINEERED ROOF TRUSSES SHALL BEAR THE

SEAL OF AN ENGINEER RESPONSIBLE IN THE STATE OF FLORIDA FOR THE

RECOMMENDATIONS OF COMMENTARY AND RECOMMENDATIONS FOR

HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD

TRUSSES, MB-41.

12. SHEARWALL SPECIFICATIONS:

VERTICAL: 1/2" OR FURTHER SHEETING OVER 22 SYP #2 STUDS.

• FASTEN SHEETING 1/4" DIA. COMMON WIRE NAILS @ 3" C/C

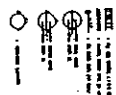
• EDGE AND 6" C/C IN FIELD. INSTALL SYP #2 BLOCKING AT ALL

HORIZONTAL JOINTS. INSTALL THE FOLLOWING HOLDERS AT EACH

END OF SHEARWALL SEGMENT: (1) SMC-2 AND (1) TYP-2

BETWEEN 1ST & 2ND FLOOR. (2) SMC-2 AND (1) TYP-2

LEGEND



R. F. Makermian Jr., P.E.
Consulting Engineer

420 South Third Street, Suite 100, St. Petersburg, FL 33704

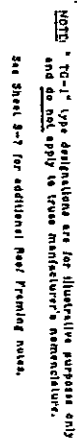
WALTER JAMES OKON
ARCHITECT

Palm West Home Realty
2nd Floor Framing Plan
Bldgs. "A" & "B"

PALM WEST
HOME BUILDERS

55

EXH - 174-01-01



See Sheet 9-7 for additional Roof Framing notes.

NOTE: "TC-1" type designations are for illustrative purposes only and do not apply to true manufacturer's nomenclature.

[illegible]

R. W. Mackayson Jr., F.E.
Consulting Engineer
455 South Third Street, Birmingham - 18, AL 35202

Roof Plan - Bldg. "A", "D"

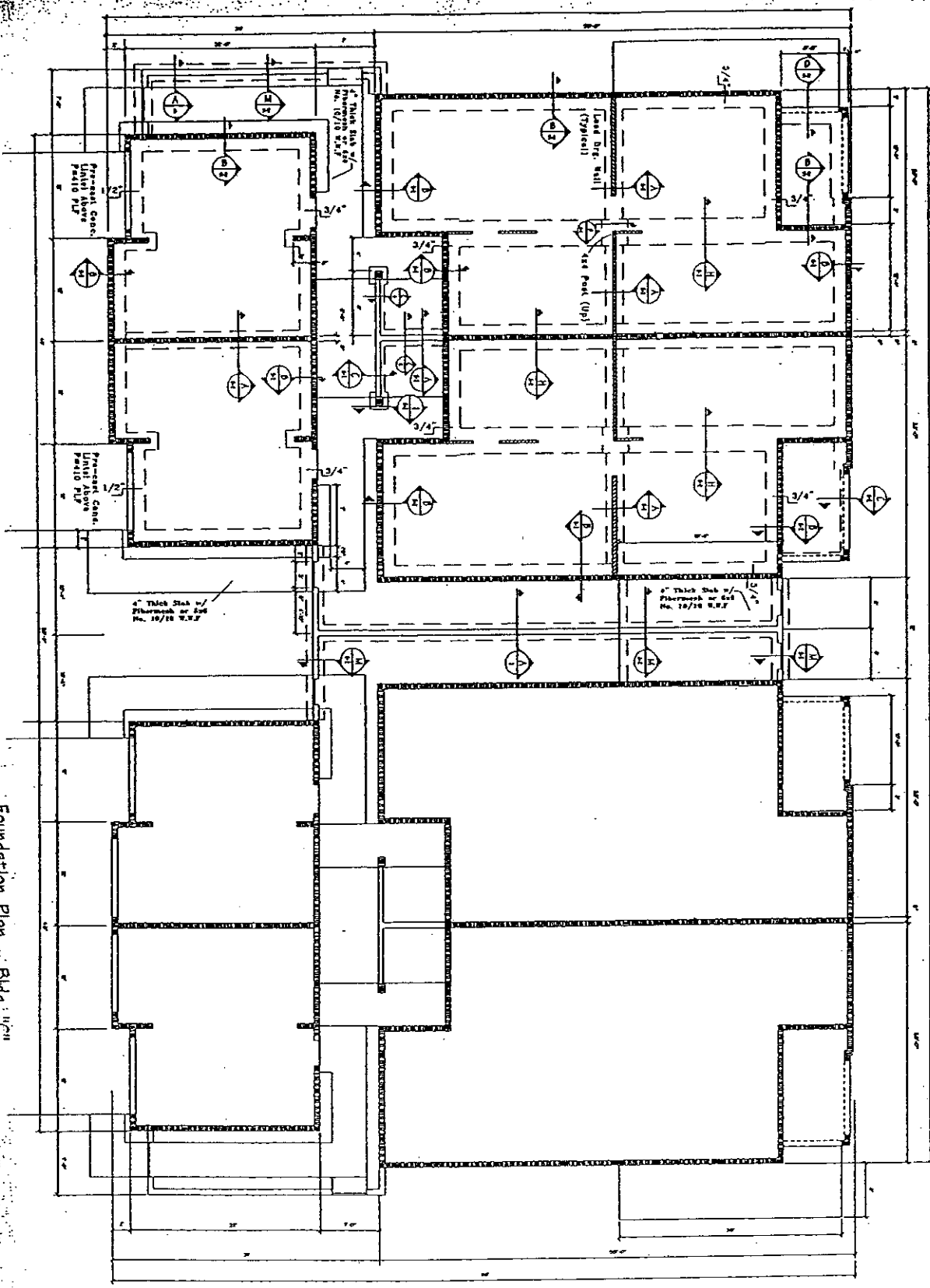
WALTER JAMES O'KON
ARCHITECT
204 S. KING STREET DE MOBILE, ALA 36604 (204) 42-5879

**PACIFIC WEST
HOME BUILDERS**
General Home Builders and Contractors

5-4

54

Foundation Plan - Bldg. "C"



R. B. Stevenson Jr., P.E.
 Consulting Engineer
 420 South Third Street, Jacksonville, Fla. 32204

New Condominium Units
 PLANNED ESTATE
 Foundation Plan
 Building "C"

WALTER JAMES OKON
 ARCHITECT
 40 A LINE STREET SE, ROSWELL, GA 30059

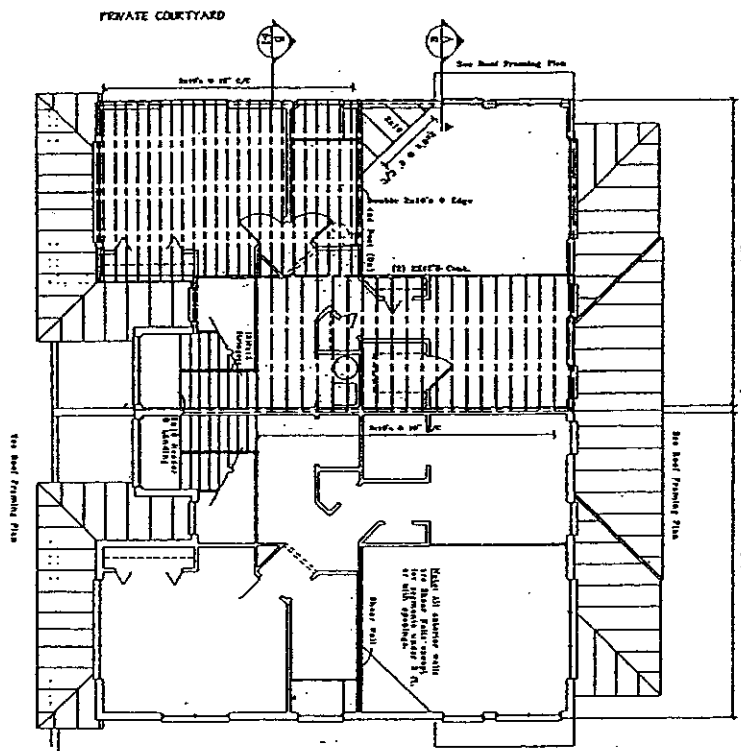
00-000

PALM BEACH
 HOME BUILDERS



Second Floor Framing Plan ~ Bldg. "C"

Scale 1/4" = 1'-0"



R. E. Makemson Jr., P.E.
Consulting Engineer

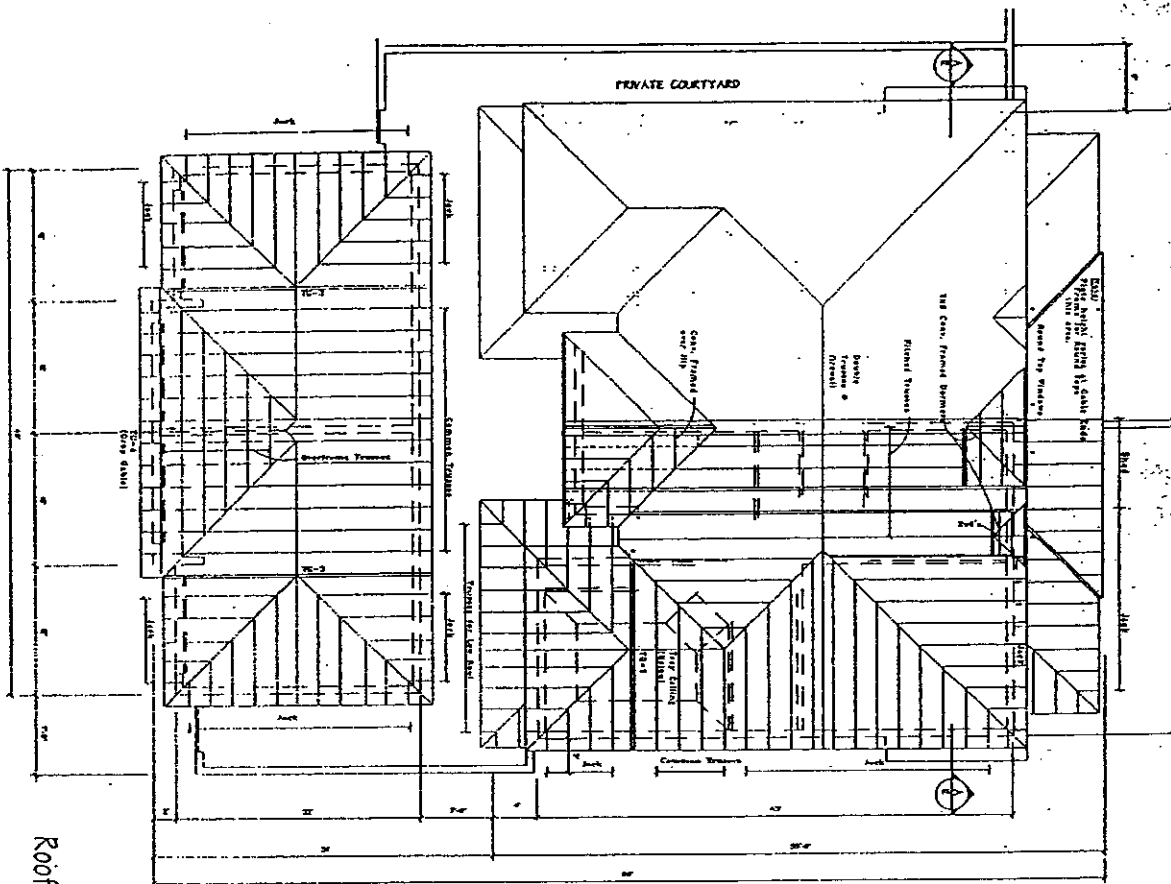
429 South Third Street, Jacksonville, South, FL 32204

New Condominium Units
Second Floor Framing Plan
Building "C"

WALTER JAMES O'KON
ARCHITECT
20 N. 1st Street, Jacksonville, FL 32204

PADMA WEST
HOME BUILDERS

10/1/00



STRUCTURAL NOTES

DESIGN IS TO BE IN ACCORDANCE WITH THE 1987 SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL

1. LIVE LOADS:

FLOOR 40 PSF
ROOF 20 PSF

2. BASIC WIND LOAD

110 MPH
7.18 = 30.08 DEGREES

3. ALLOWABLE UNIT STRESSES
ALL DIMENSION LUMBER HEADS AND BEAMS SHALL BE SPC NO. 2 OR BETTER, WITH AN ALLOWABLE BENDING STRESS IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY AMERICAN FOREST & PAPER ASSOCIATION. ALL STUDS SHALL BE SPC NO. 2 OR BETTER (UNLESS OTHERWISE NOTED).
USE FLOOR 1, 1.10
MEAN ROOF HEIGHT 25.45'
VELOCITY PRESSURE 28.9 PSF

4. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. THAT ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS.
5. THE DESIGN OF THE PRE-ENGINEERED ROOF TRUSSES SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF FLORIDA. ALL TRUSSES SHALL BE PERMANENTLY BRACKETED IN ACCORDANCE WITH THE DESIGN OF THE MANUFACTURER. THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES. HB-9-1.

SHEATHING SPECIFICATIONS:

INSTALL 1/2" OR 5/8" SHEATHING OVER BY SPC #8 STUDS.
• 1/2" C/P FLOOR BRACING W/4" COMMON WIRE NAILS @ 3" C/C
• EDGE AND 6" C/C IN FIELD. INSTALL SPC #8 BRACING AT ALL
• HORIZONTAL JOINTS. INSTALL THE FOLLOWING HOLD-DOWN AT EACH
• END OF STUD WALL. (1) SPC #8 AND (1) 1794
BETWEEN 1ST & 2ND FLOOR. (2) R150 STRAPS

NOTE: "TD-1" type designations are for illustrative purposes only and do not apply to truss manufacturer's nomenclature.

Roof Framing & Roof Plan Building "C"

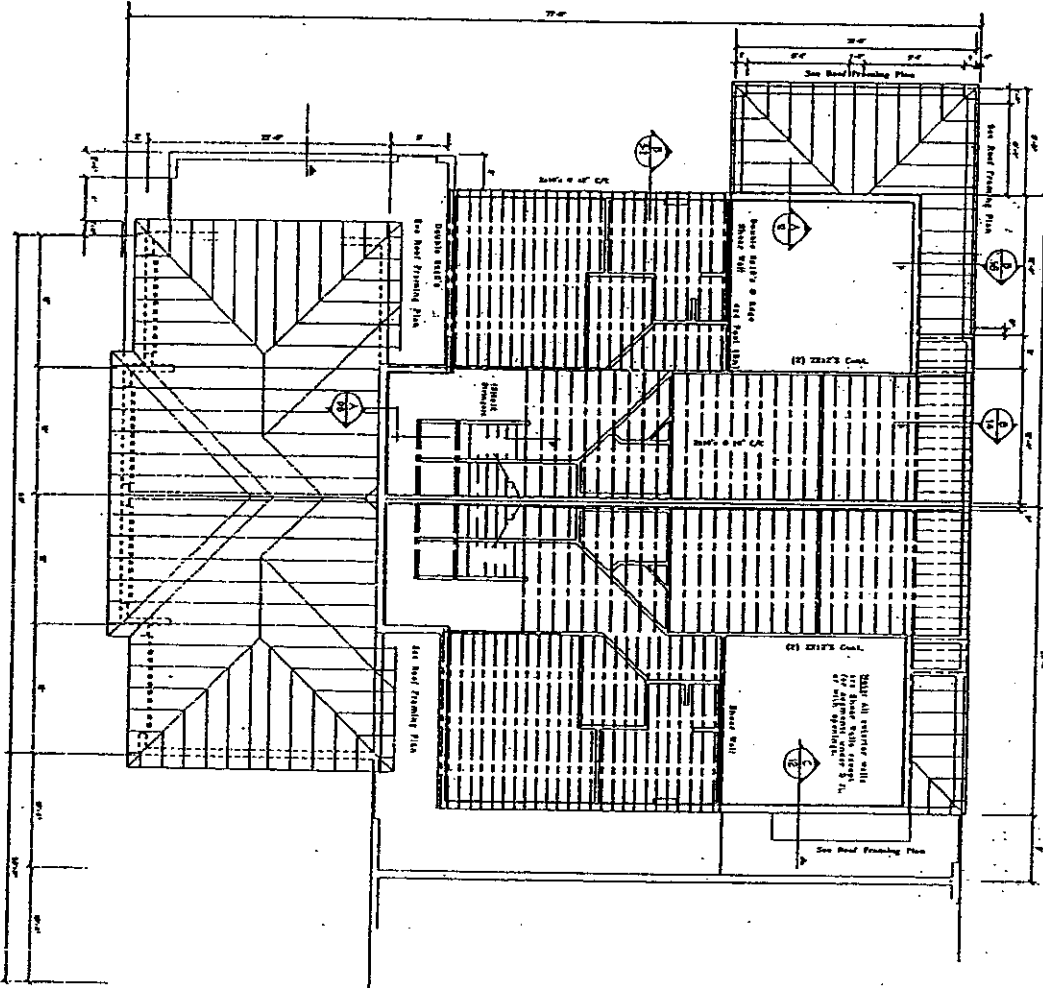
Scale: 1/4" = 1'-0"

R. E. Mahoney, Jr., P.E.
Consulting Engineer
110 South Third Street, Jacksonville Beach, FL 32250

S7	WALTER JAMES O'KON ARCHITECT 101 N. AND STREET, JACKSONVILLE, FL 32204 (904) 441-0075		S-7
	New Condominium Units JACKSON COUNTY, FLORIDA Roof Plan - Bldg. "C"		

Second Floor Framing Plan ~ Bldg. "D"

Scale: 1/4" = 1'-0"



- LEGEND
- Beam
 - Joist
 - Column
 - Wall
 - Stair
 - Elevator
 - Mechanical
 - Electrical
 - Plumbing
 - Fire
 - Other

R. W. Makensand Jr., P.E.
Consulting Engineer
428 South Third Street, Jacksonville, FL 32208

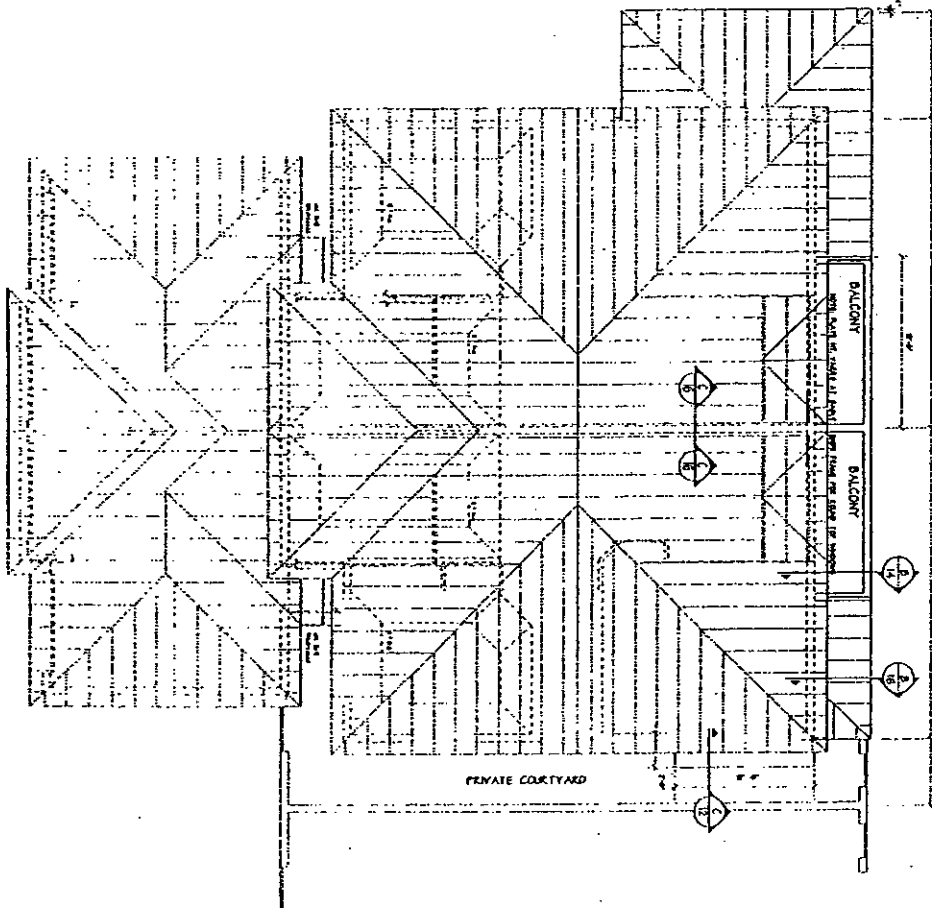
New Condominium Units
PLANNED DEVELOPMENT
Second Floor Framing Plan
Building "D"

WALTER JAMES O'KON
ARCHITECT
101 N. 2ND STREET, JACKSONVILLE, FLA. 32204 (904) 871-5475

PADMAWEET
HOME BUILDERS
Custom Home Building and Sales

DATE: 10-1-88
BY: RWA

Write Trade Identification to Sports Company, Shop
Designs, Marketing Division of Irving-Cory, Division
for Renter. Refer to Identification and Company Shop Design Identification
shall be listed by a currently licensed Florida Professional Structural Engineer.
For additional information, a Notice Shall State: Sports Shop, Inc. & Co.



Roof Framing Plan ~ Building 'D'

Grand Total	134.5 Sq. Ft.
Second Floor	829.5 Sq. Ft.
Using Area	2230 Sq. Ft.

R. S. Makrisson Jr., P.E.
Consulting Engineer

479 South Third Street, Jacksonville Beach, FL 32250

New Condominium Units
FLORIDA COUNTY, FLORIDA

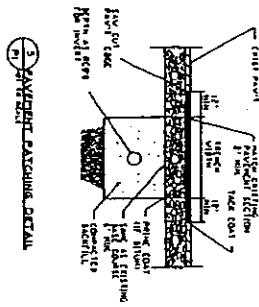
WALTER JAMES OKON
ARCHITECT

NO. 1, LANE STREET SE, ANCHORAGE, ALA 35504

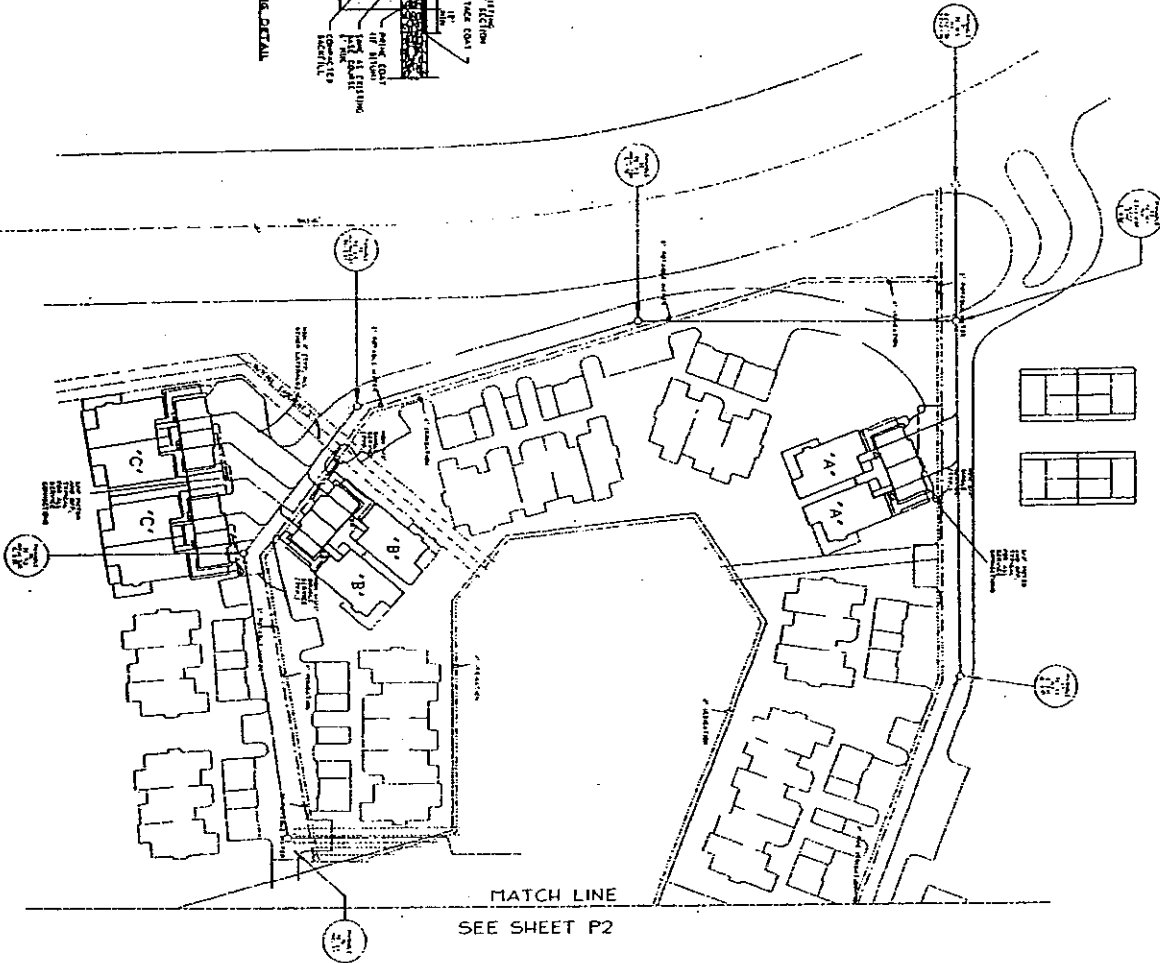


PADGETT WEST
HOME BUILDERS
Custom Home Building and Remodeling

510

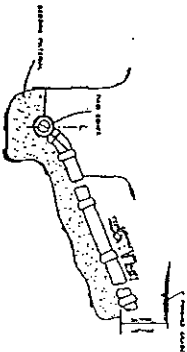


CUB
HOUSE DRIVE

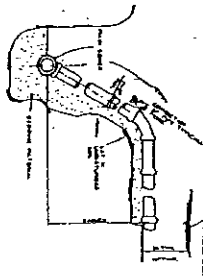


Plumbing Site Plan West
Scale: 1" = 10'-0"

1. SEWER MAIN DEEP CONNECTION
2. SEWER MAIN DEEP CONNECTION



1. SEWER MAIN DEEP CONNECTION
2. SEWER MAIN DEEP CONNECTION



NOTES:
1. ALL SEWER PIPES SHALL BE 12" DIA. VITRIFIED CLAY PIPE WITH 2" THICK WALLS.
2. ALL SEWER PIPES SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/8" PER FOOT.
3. ALL SEWER PIPES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18" BELOW FINISHED GRADE.
4. ALL SEWER PIPES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18" BELOW FINISHED GRADE.
5. ALL SEWER PIPES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18" BELOW FINISHED GRADE.
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10. ALL SEWER PIPES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18" BELOW FINISHED GRADE.

SAVES & BROWN, P.A.
COMMERCIAL ENGINEERS
PLANNING ARCHITECTS
INTERIOR DESIGNERS

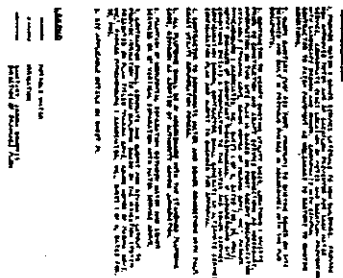
SAVES & BROWN

Palin West Home Realty
10000 West 10th Avenue, Suite 100
Denver, CO 80231

WALTER JAMES OKON
ARCHITECT
10000 West 10th Avenue, Suite 100
Denver, CO 80231

PALIN WEST
HOME BUILDERS
10000 West 10th Avenue, Suite 100
Denver, CO 80231

3 Flamingo Place Drive West
Palm Beach, FL 33411
Office: (407) 444-7000
Fax: (407) 444-5000



10/10/10
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SIMES & BOSCH, P.A.
 Chartered Accountants
 110, Margaret Street, S.W. 1
 Telephone: 234 1111

Handwritten signature: S. M. S.

110 Margaret Street, S.W. 1

Pat West Home Realty
PLUMMER COUNTY - ALBERTA
Numbering Site Plan
East

WALTER JAMES O'KON
ARCHITECT
100 A 2346 STREET SE, ALBUQUERQUE, N.M. 87104 (505) 265-1470

PADAWEST
PO BOX 89711, Ft. W.
Call for buying, shipping and storage

2 Florida Park Drive North
Ft. Worth, TX 76137
Office: (800) 443-7007
Fax: (800) 446-5643

Plumbing Site Plan East.

Oct 17 1937

68

[illegible]

1. The following information was obtained from a review of the files of the Federal Bureau of Investigation, Department of Justice, and the Central Intelligence Agency, Office of Security, regarding the activities of the following individuals:

2. [REDACTED]

3. [REDACTED]

4. [REDACTED]

5. [REDACTED]

6. [REDACTED]

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191. [REDACTED]

192. [REDACTED]

193. [REDACTED]

194. [REDACTED]

195. [REDACTED]

196. [REDACTED]

197. [REDACTED]

198. [REDACTED]

199. [REDACTED]

200. [REDACTED]

201. [REDACTED]

202. [REDACTED]

203. [REDACTED]

204. [REDACTED]

205. [REDACTED]

206. [REDACTED]

207. [REDACTED]

208. [REDACTED]

209. [REDACTED]

210. [REDACTED]

211. [REDACTED]

212. [REDACTED]

213. [REDACTED]

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291. [REDACTED]

292. [REDACTED]

293. [REDACTED]

294. [REDACTED]

295. [REDACTED]

296. [REDACTED]

297. [REDACTED]

298. [REDACTED]</

An extra rope that weights

Pulley A

Pulley B

The load is raised by pulling down on the rope that is attached to the weight

Exhaust Valve

1st Stage Fuel/oxidizer inlet

2nd Stage Fuel/oxidizer inlet

Exhaust Valve

Main Jet Array

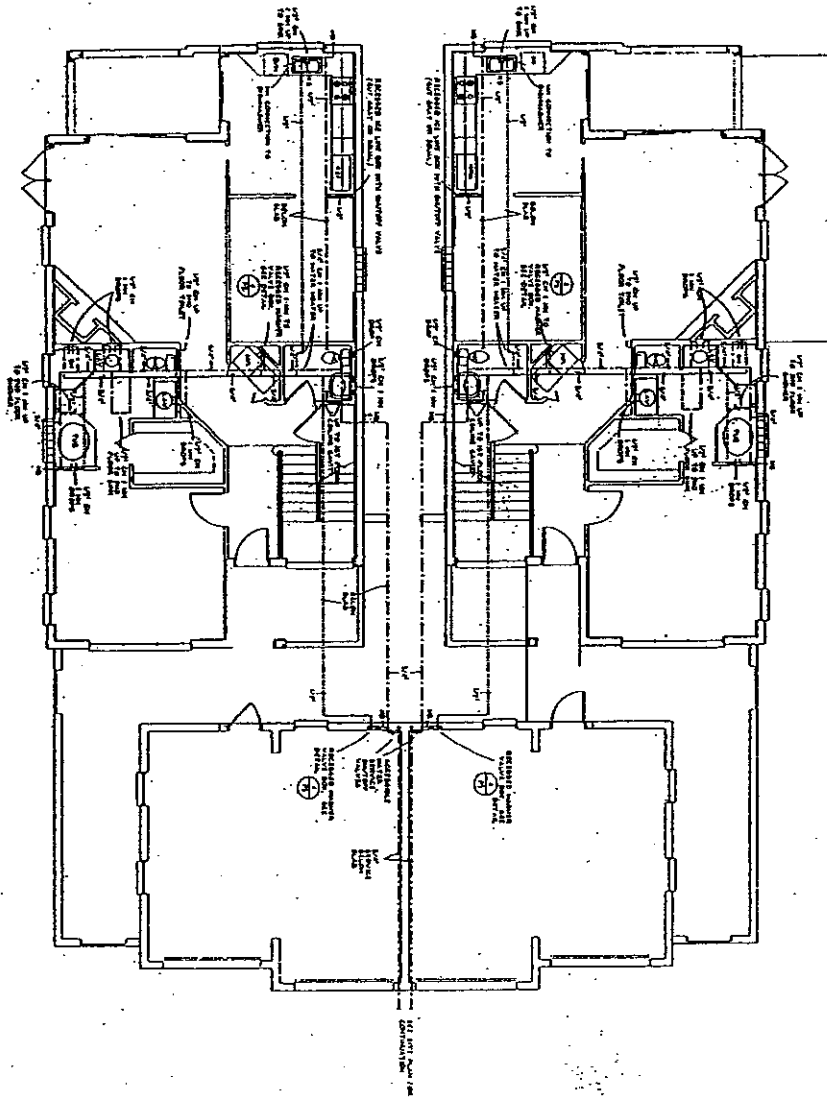
Nozzle Jet Array

Nozzle Throat

Exhaust Valve

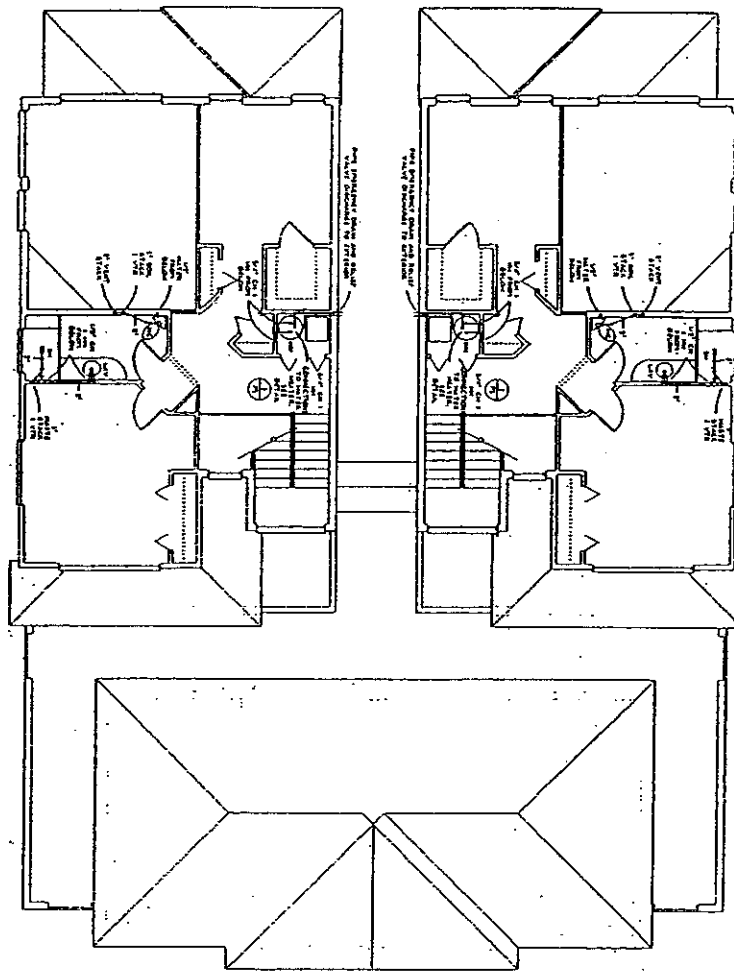
NOTE: The engine is designed to operate at 1000 psi. The engine is designed to operate at 1000 psi. The engine is designed to operate at 1000 psi.

[illegible][illegible][illegible]



Ground Floor Water Plan
Building A & B
Scale: 1/16" = 1'-0"

P5 1/16" = 1'-0" 1/16" = 1'-0" 1/16" = 1'-0"	Home for Construction Palm West Home Realty 11111 111th Ave. N. Palm Beach, FL 33411 Ground Floor Water Plan Building A & B	WALTER JAMES OKON ARCHITECT 11111 111th Ave. N. Palm Beach, FL 33411 561-833-1111	PALM WEST HOME BUILDERS 11111 111th Ave. N. Palm Beach, FL 33411 561-833-1111	SMITH & BROS. P.A. 11111 111th Ave. N. Palm Beach, FL 33411 561-833-1111
	11111 111th Ave. N. Palm Beach, FL 33411 561-833-1111			



2nd Floor Sanitary and Water Plan
Building A & B

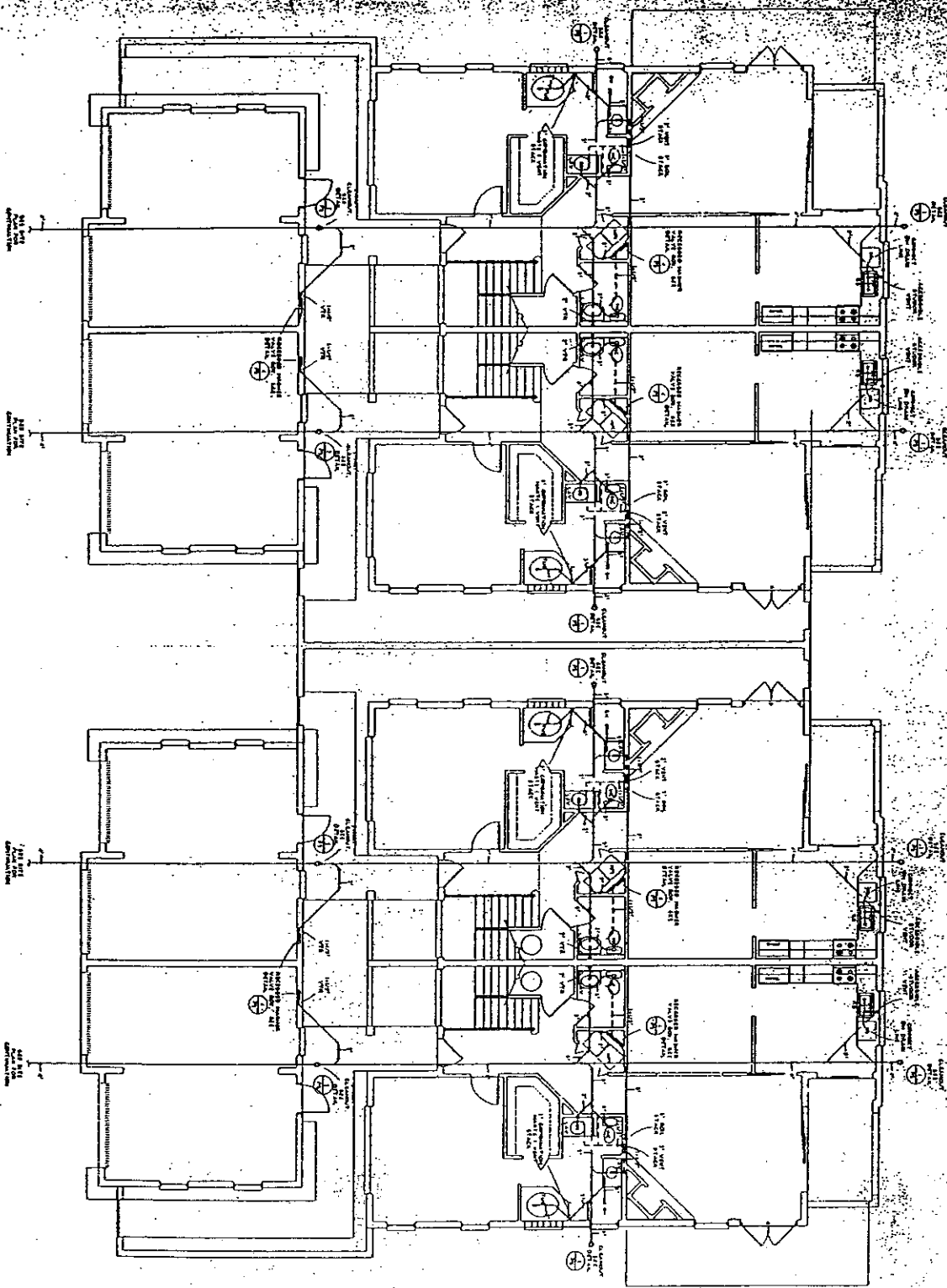
PG

Walter James Okon
Falm West Home Realty
HARRIS COUNTY - ALABAMA
2nd Fl. Sanitary and Water Plan
Building A & B

WALTER JAMES OKON
ARCHITECT
100 S. 10TH STREET, SUITE 100, ALABAMA, AL 36804
904-381-1111

FALM WEST
HOME BUILDERS
2 Falm West Drive, Falm
Falm, AL 36804
Office (904) 445-7000
Fax (904) 445-7001

SHAW & BROSCH P.A.C.
SHAW & BROSCH P.A.C.
SHAW & BROSCH P.A.C.
SHAW & BROSCH P.A.C.



Ground Floor Sanitary Plan
Building C

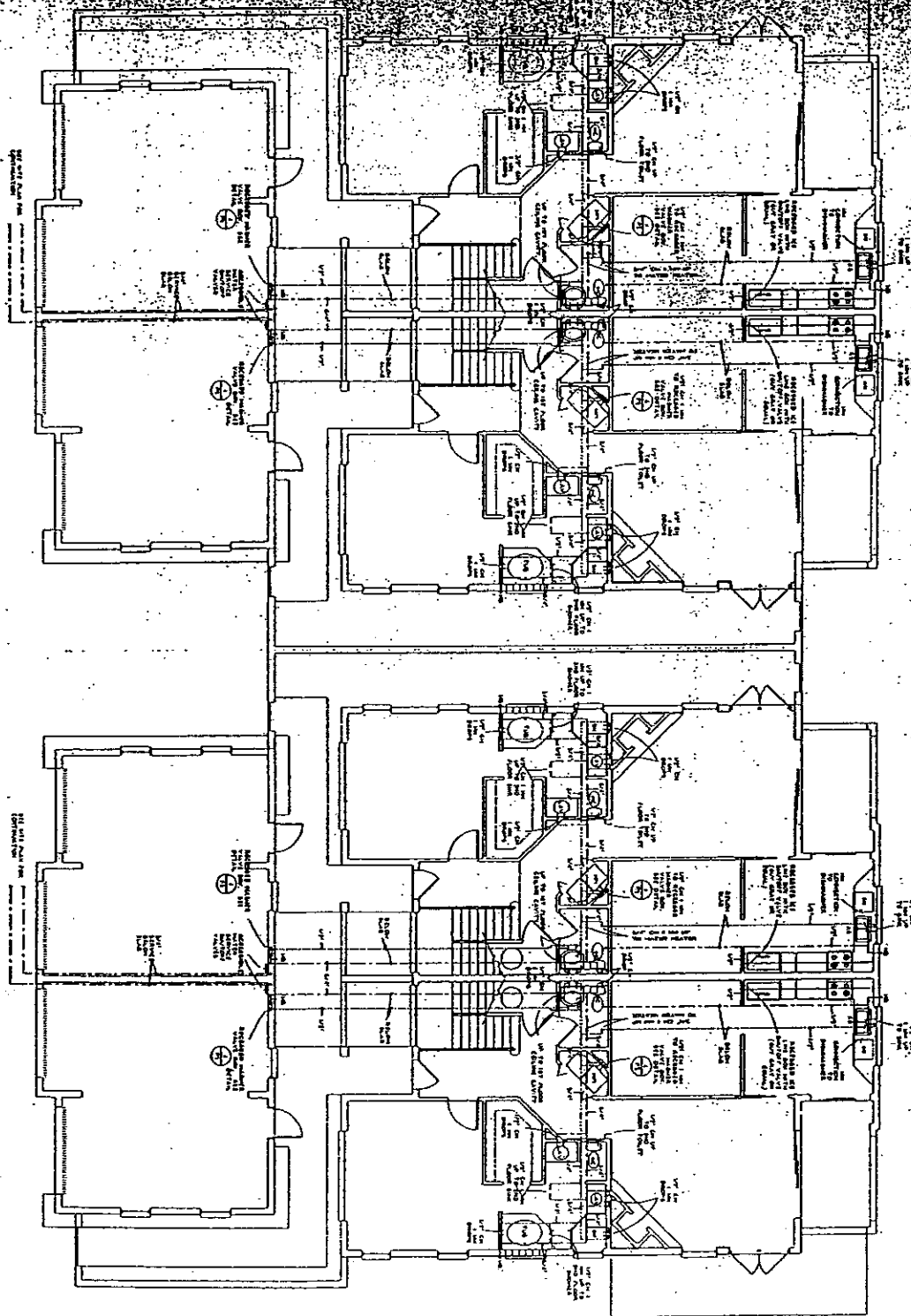
P7

Palm West Home Realty
Palm Beach, Florida

WALTER JAMES OKON
ARCHITECT

2 Florida Park Drive North
Palm Beach, FL 33413
Office: (561) 843-3000
Fax: (561) 843-3001

SENEY & BROSCH, P.A.
Florida State Board of Accountancy
Certified Public Accountants
Palm Beach, Florida



Ground Floor Water Plan.
Building C

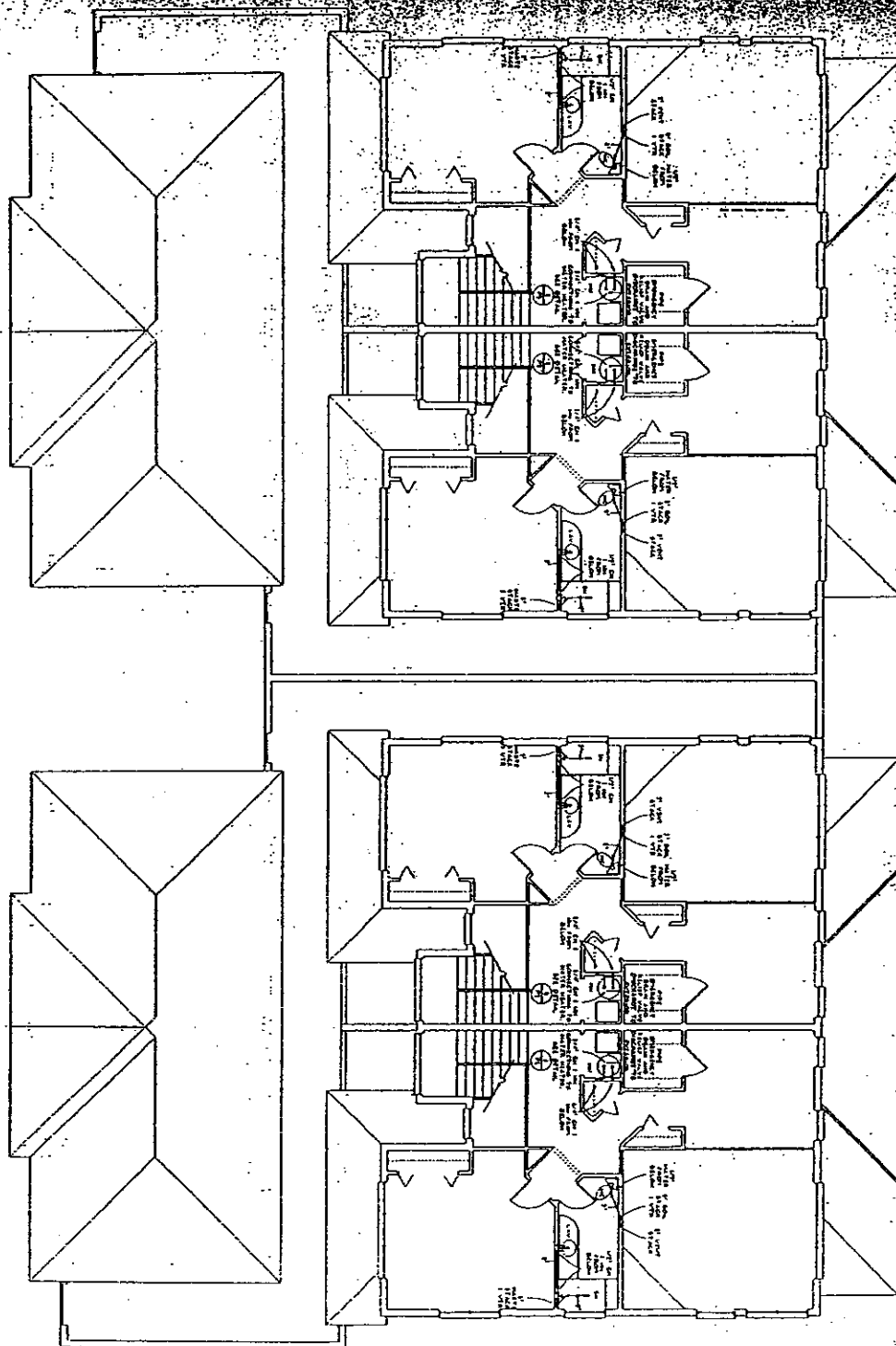
P8

John West-Horne Realty
PALM BEACH, FLORIDA
Ground Floor Water Plan
Building C

WALTER JAMES O'KON
ARCHITECT
100 N. Palm Beach Blvd., Suite 100
Palm Beach, Florida 33480

2 Florida Park Drive North
Palm Beach, FL 33411
General (904) 835-7000
Fax (904) 835-7001

SHOPS & BOSCH P.A.
CONSULTING ENGINEER
PLUMBING, MECHANICAL AND
ELECTRICAL
Shops & Bosch
P.E. License No. 12345



2nd Floor Sanitary and Water Plan
Building C

Scale 1/4" = 1'-0"

29

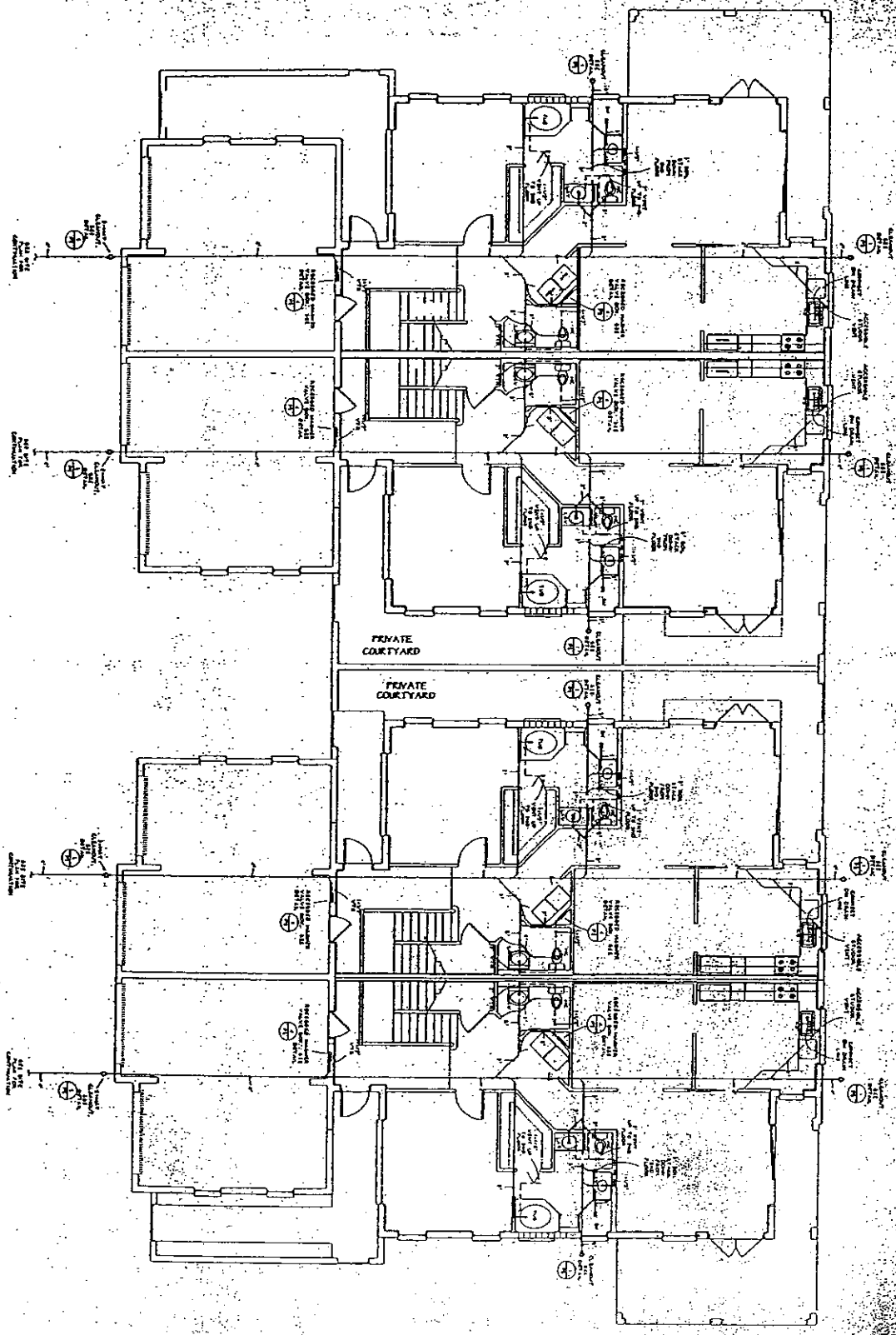
Project: Palm West Home Realty
Building C
2nd Floor Sanitary and Water Plan

WALTER JAMES O'KON
ARCHITECT
20 A 2ND STREET SE, ALBUQUERQUE, NM 87102

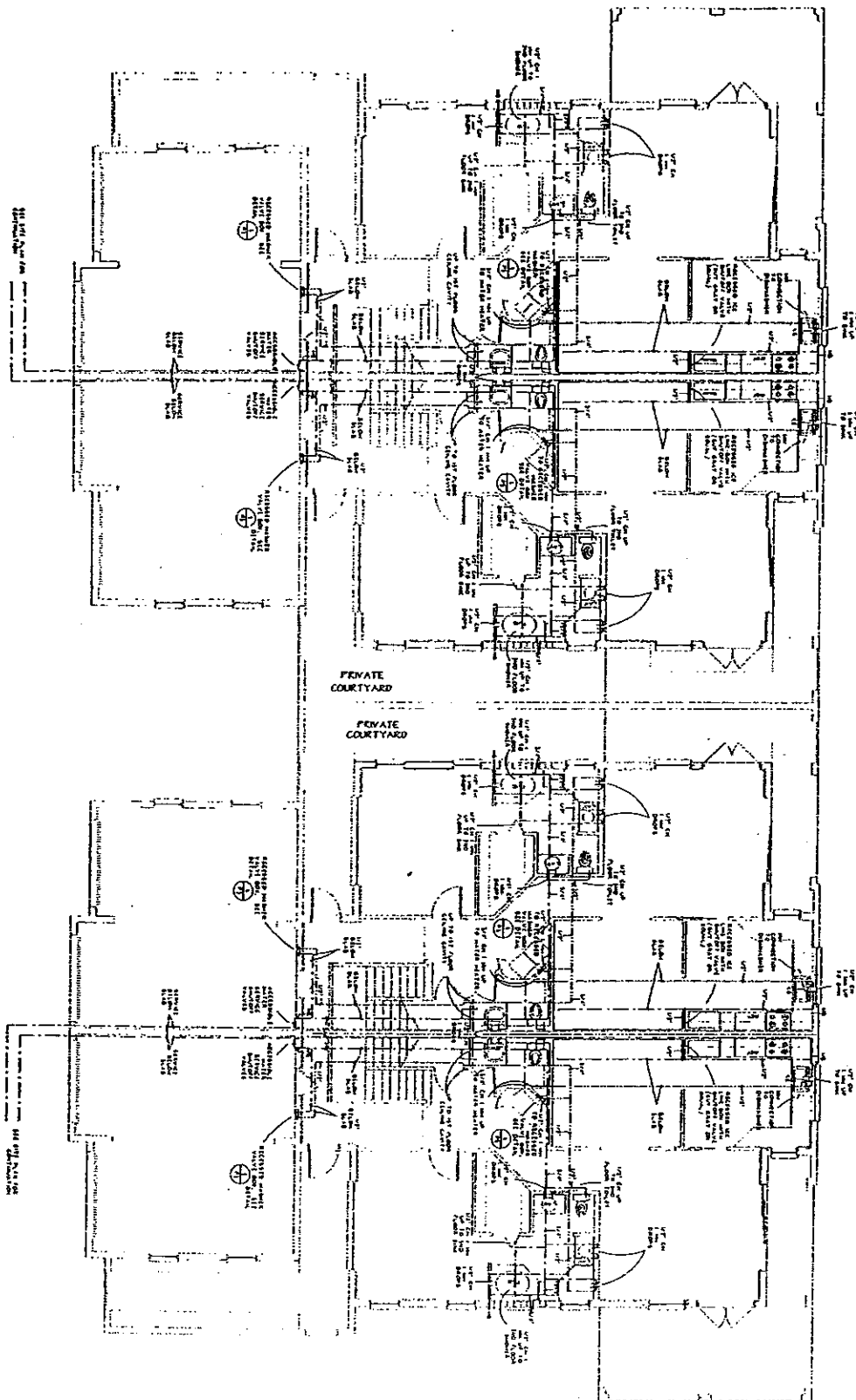
2 Florida Park Drive North
Palm Beach, FL 33417
Office: (407) 445-2001
Fax: (407) 444-5941

SEMPER & BOSCH, P.A.
Professional Engineer
Professional Seal
Professional Stamp
Professional Signature

Ground Floor Sanitary Plan
 Building D
 Date 11-1-10



Palm West Home Realty 11111 1st St. N. Palm Beach, Fla. Phone 1-1111	WALTER JAMES OKON ARCHITECT 11111 1st St. N. Palm Beach, Fla. Phone 1-1111	11111 1st St. N. Palm Beach, Fla. Phone 1-1111	11111 1st St. N. Palm Beach, Fla. Phone 1-1111	11111 1st St. N. Palm Beach, Fla. Phone 1-1111	11111 1st St. N. Palm Beach, Fla. Phone 1-1111	11111 1st St. N. Palm Beach, Fla. Phone 1-1111
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Ground Floor Water Plan
Building D

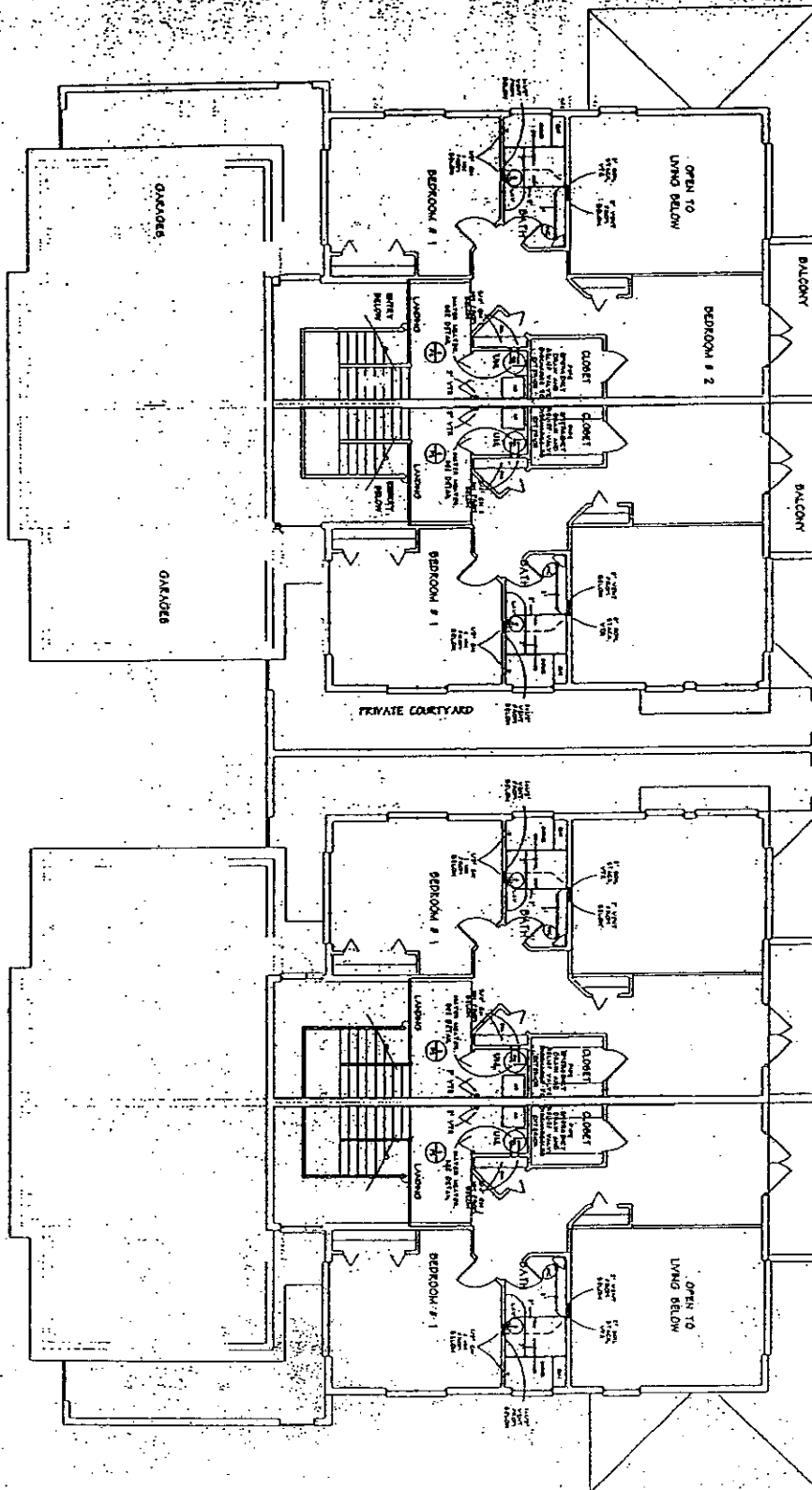
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Palm West Home Realty
PALM BEACH COUNTY, FLORIDA
Ground Floor Water Plan
Building D

WALTER JAMES O'KON
ARCHITECT
100 S. 10th Street, Suite 100, Palm Beach, FL 33480

7100 West Palm Beach Blvd., Suite 100
Palm Beach, FL 33411
Office (561) 845-7000
Fax (561) 845-7001

SHADE & BROWN, P.A.
CONSULTING ENGINEER
Professional Seal
Shade & Brown, P.A.
10/1/11



2nd Floor Sanitary and Water Plan
Building D

P12

Palm West Home Realty
Hendall Street, Ft. Lauderdale, FL
Grand Palm Sanitary Plan
Building D

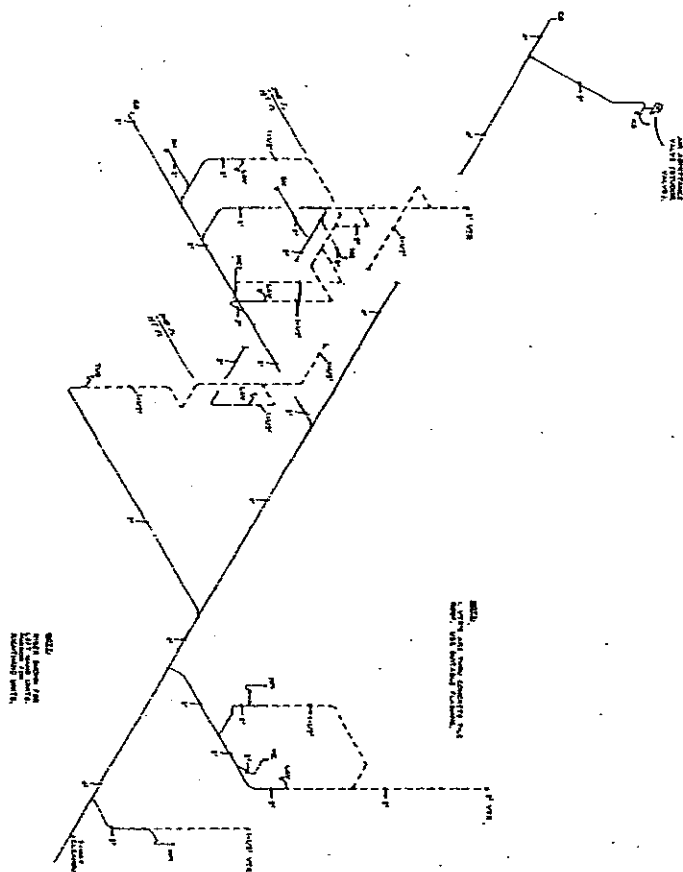
WALTER JAMES OKON
ARCHITECT

2 Florida Park Drive, Suite 100
Palm Beach, FL 33480
Office: (561) 243-7000
Fax: (561) 243-7000



Riser Diagram, Building D

Rev. 1, N/A



213

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Home Site Construction
Palm West Home Realty
PALM BEACH COUNTY - FLORIDA
Planning, Design, Construction, & Service

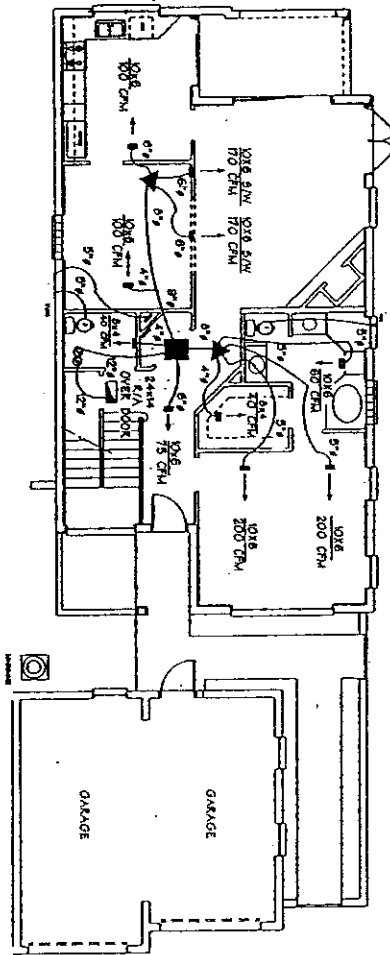
WALTER JAMES O'KON
ARCHITECT
100 N. AND STREET, SUITE 200, PALM BEACH, FLORIDA 33480

00-000

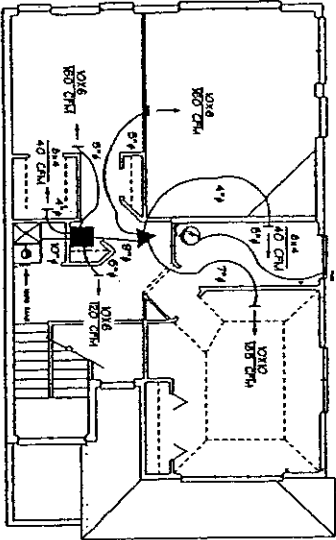
PALM WEST
HOME BUILDERS

2100 West Palm Beach, Florida
Palm Beach, FL 33411
Phone: (407) 835-7000
Fax: (407) 835-7000

SHARP & BROSCH, P.A.
ATTORNEYS AT LAW
Palm Beach, Florida
33480



Ground Floor Duct Layout Building A, B, C



Second Floor Duct Layout Building A, B, C

SPECIFICATIONS

HEATING AND AIR CONDITIONING UNITS shall be matched systems for indoor and outdoor units. Outdoor unit is Model 38YCC036 and indoor unit is CARRIER Model FA4AN036.

Provide a 5/8\"/>

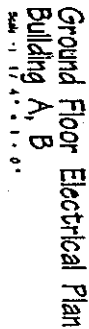
R/A W/ Oil and be Model A-642 W/ Units. External fresh thermostat shall be fluid located as directed by Owner.

NOTES:

1. EXTEND REFRIGERANT LINES BETWEEN AIR HANDLING UNIT AND OUTDOOR UNIT. ALL REFRIGERANT PIPING BELOW GRADE TO BE IN PVC CONDUIT WITH SHIELD BEHIND WATER TIGHT.
2. DUCTWORK LAYOUT IS FOR GENERAL REFERENCE ONLY. CONTRACTOR SHALL REWIRE DUCTWORK AS REQUIRED DEPENDING ON SPACE AVAILABLE WITHIN ROOMS. CONTRACTOR HAS ALITER DIRECTION TO ALL AREAS OF DUCTWORK.
3. COORDINATE WITH PLUMBING FOR CONDENSATE DRAIN CONNECTIONS AND EXISTING TO OUTDOOR DRAINWELLS.
4. PAINT THE INTERIOR OF ALL DUCTWORK VISIBLE THROUGH THE AIR DUCTS. PAINT TO BE BLACK GLOSS.

EXHAUST FANS:
 FAN MODEL: 06-420, 237 CFM @ 0.37\"/>

	Palm West Home Realty PROJECT: 0000000000	WALTER JAMES O'KON ARCHITECT 80 A LANE STREET SE, MIAMI, FLA 33136 (305) 344-5479		
	HVAC Plan & Detail Bldg. A.D.C.			

[illegible][illegible]

- ⑦ **Remove silvered endboard, coverboard, and covers** by pulling them away from the book block and set them aside.
- ⑧ **Remove the binding** by pulling the book block away from the coverboard and cover. The binding will come off in one piece.
- ⑨ **Remove the binding** by pulling the book block away from the coverboard and cover. The binding will come off in one piece.
- ⑩ **Remove the binding** by pulling the book block away from the coverboard and cover. The binding will come off in one piece.

- [illegible]

- [illegible]

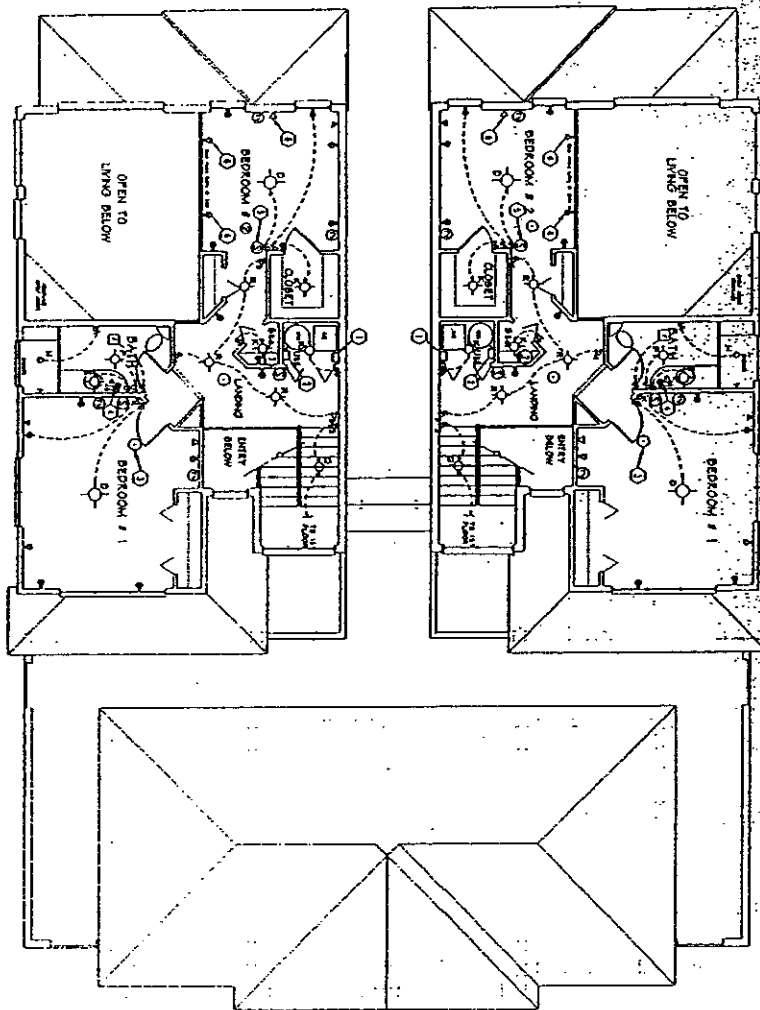
SINES & BOSCH, P.A.
CONSTRUCTION MANAGEMENT
P.O. BOX 600000, SUITE 100
DALLAS, TEXAS 75260-0000
214.789.1100

PADMA WEST
HOME BUILDERS
2 Florida Pkwy. 4th. Floor
Fort Lauderdale, FL 33322
Office (904) 443-7001
Fax (904) 446-3941

WALTER JAMES O'KON
ARCHITECT

Palm West Home Realty
PALM BEACH COUNTY, FLORIDA

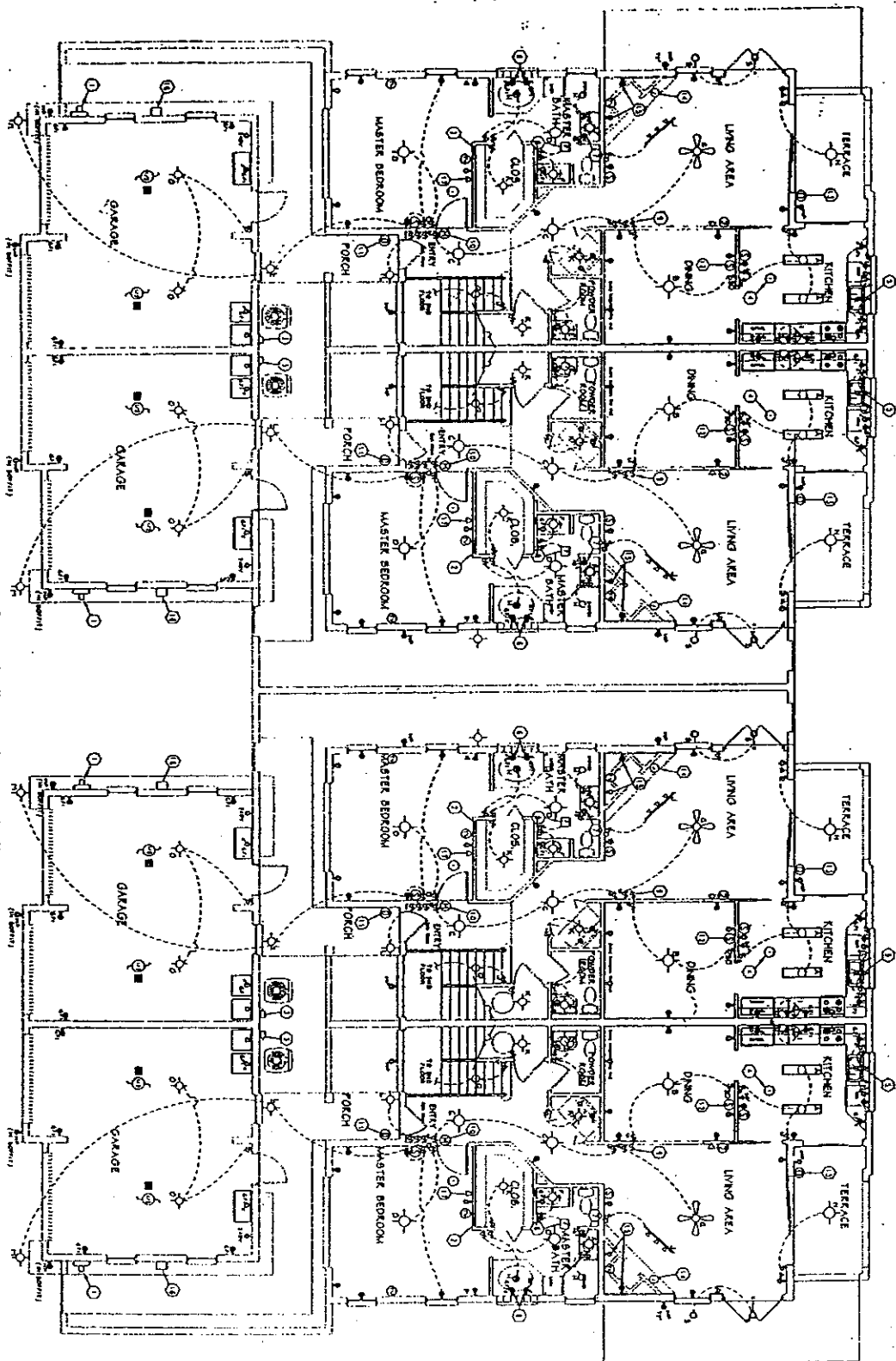
23



Second Floor Electrical Plan
Building A, B
Scale 1/4" = 1'-0"

SPECIFIC NOTES:

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).
2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).
3. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).
4. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).
5. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).
6. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).
7. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).
8. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).
9. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).
10. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE FLORIDA ELECTRICAL CODE (FEC).



SPECIFIC NOTES:

**Ground Floor Electrical Plan
Building C**

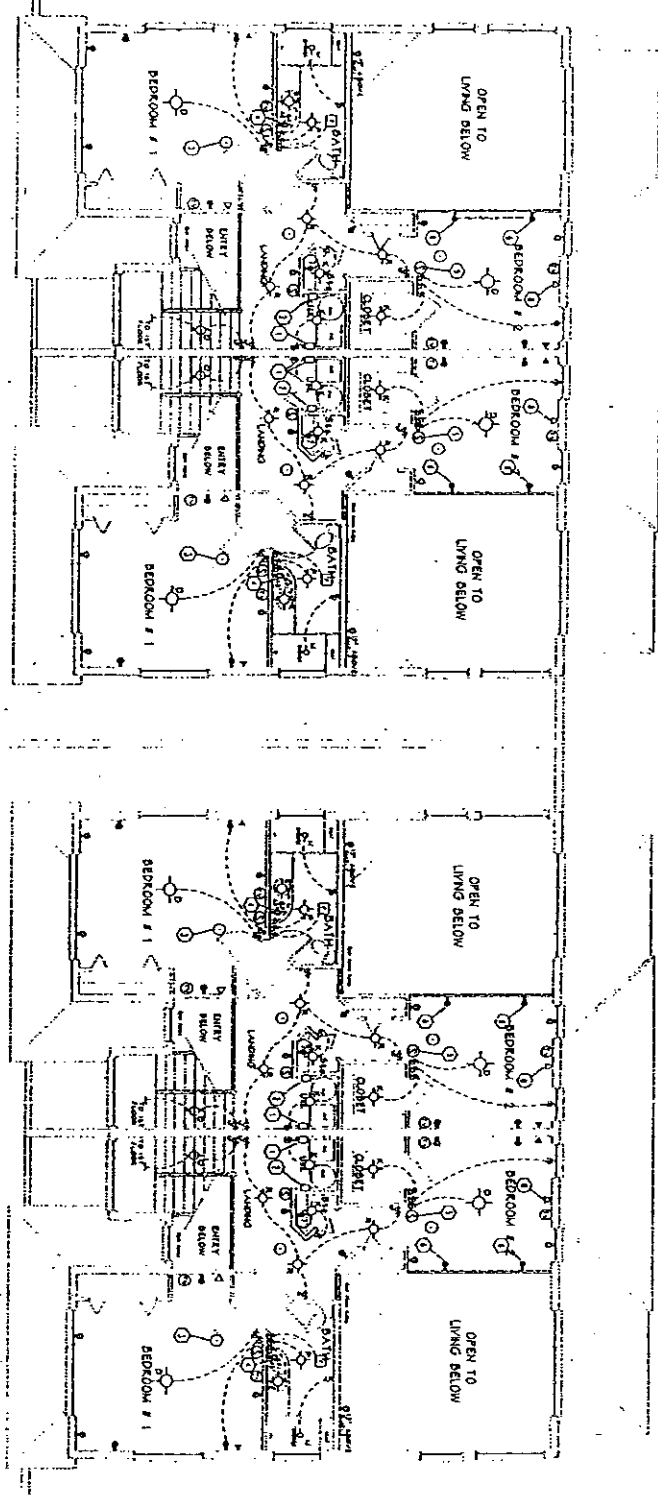
Scale: 1/4" = 1'-0"

- 1. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.
- 2. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.
- 3. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.
- 4. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.
- 5. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.
- 6. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.
- 7. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.
- 8. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.
- 9. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.
- 10. All wiring to be done in accordance with the latest edition of the National Electrical Code (NEC) and the Florida Electrical Code.

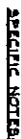
E4 04-04-00	Palm West Home Realty REALTOR Ground Floor Electrical Plan Bldg. C	WALTER JAMES OKON ARCHITECT 801 S. HAWK STREET, SUITE 100, PALM BEACH, FL 33406 (561) 833-1070	2700 PALM WEST HIGHWAY 1, SUITE 100 PALM BEACH, FL 33406 (561) 833-1070	2700 Palm Beach Highway Palm Beach, FL 33406 Office: (561) 833-1070 Fax: (561) 833-1070	SMITH & BISHOP, P.A. 2700 Palm Beach Highway Palm Beach, FL 33406 (561) 833-1070
	Date: 04/04/00				

- SPECIFIC NOTES:**
1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 FLORIDA ELECTRICAL CODE (FEC).
 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 FLORIDA ELECTRICAL CODE (FEC).
 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 FLORIDA ELECTRICAL CODE (FEC).
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 8. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 FLORIDA ELECTRICAL CODE (FEC).
 9. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 FLORIDA ELECTRICAL CODE (FEC).
 10. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2017 NATIONAL ELECTRICAL CODE (NEC) AND THE 2017 FLORIDA ELECTRICAL CODE (FEC).

Second Floor Electrical Plan
Building C
Scale: 1/4" = 1'-0"



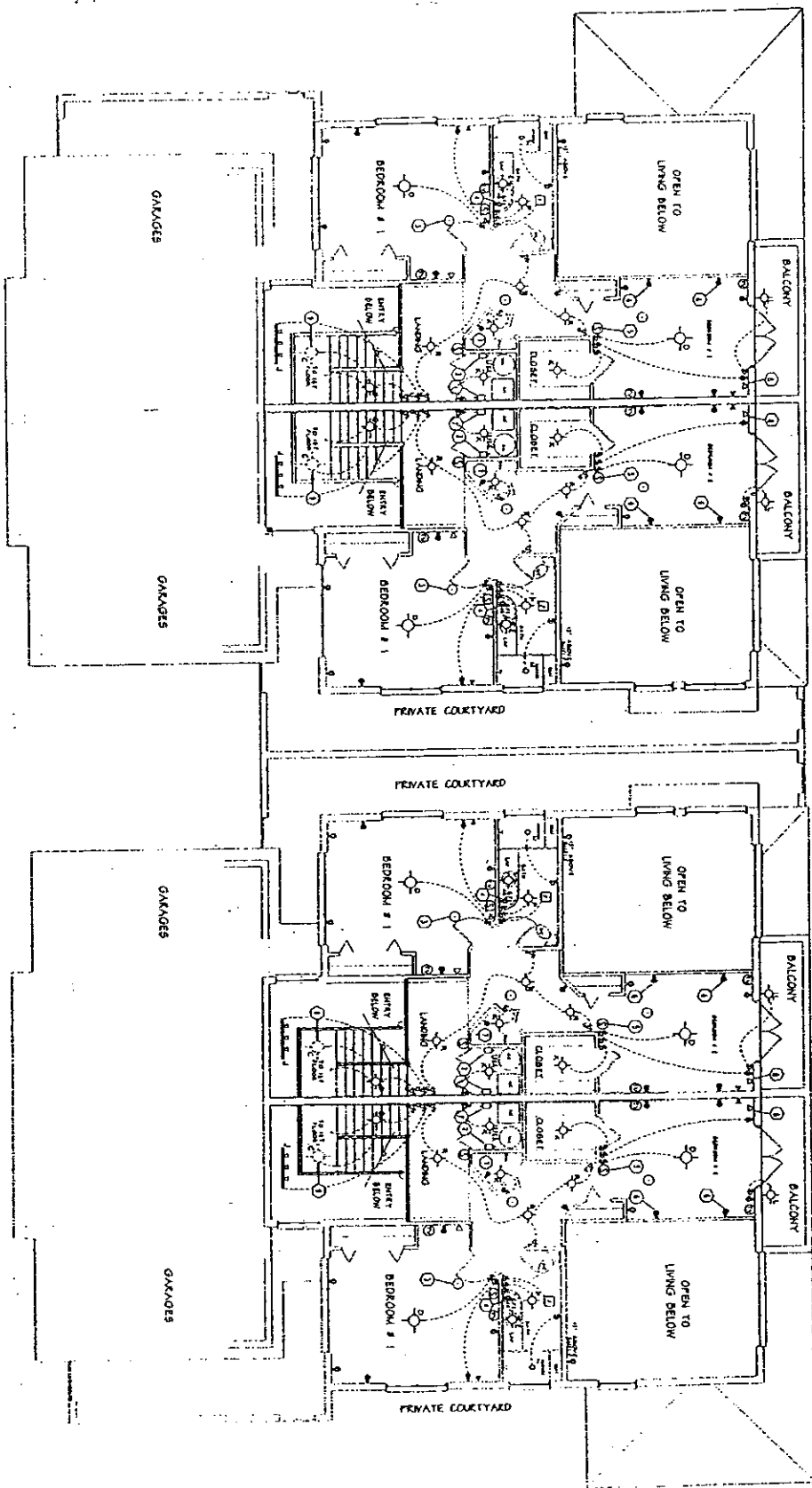
ES 2024	Project Name: Palm West Home Realty Project Number: 2nd Fl. Electrical Plan Building: Building C	WALTER JAMES O'KON ARCHITECT 100 A AND STREET SE, ALBUQUERQUE, NM 87102 (505) 833-8800	Date: 08-08-2024 Project: 2nd Fl. Electrical Plan Building: Building C	2. Electrical Plan (Second Floor) Project: Palm West Home Realty Location: Building C Date: 08-08-2024	SDGS & BOSCH, P.A. 10000 N. 10th Ave., Suite 100 Phoenix, AZ 85020 (602) 998-1000 www.sdgsandbosch.com
	Scale: 1/4" = 1'-0"				



- # Ground Floor Electrical Plan Building D

Benito 17 11 6 1 0 0 0

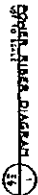
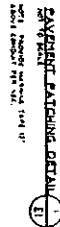
SOMMER & MOSCH, P.



- SPECIFIC NOTES:**
- 1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2008 NATIONAL ELECTRICAL CODE (NEC) AND THE 2008 FLORIDA ELECTRICAL CODE (FEC).
 - 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2008 NATIONAL ELECTRICAL CODE (NEC) AND THE 2008 FLORIDA ELECTRICAL CODE (FEC).
 - 3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2008 NATIONAL ELECTRICAL CODE (NEC) AND THE 2008 FLORIDA ELECTRICAL CODE (FEC).
 - 4. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2008 NATIONAL ELECTRICAL CODE (NEC) AND THE 2008 FLORIDA ELECTRICAL CODE (FEC).
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 - 10. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2008 NATIONAL ELECTRICAL CODE (NEC) AND THE 2008 FLORIDA ELECTRICAL CODE (FEC).

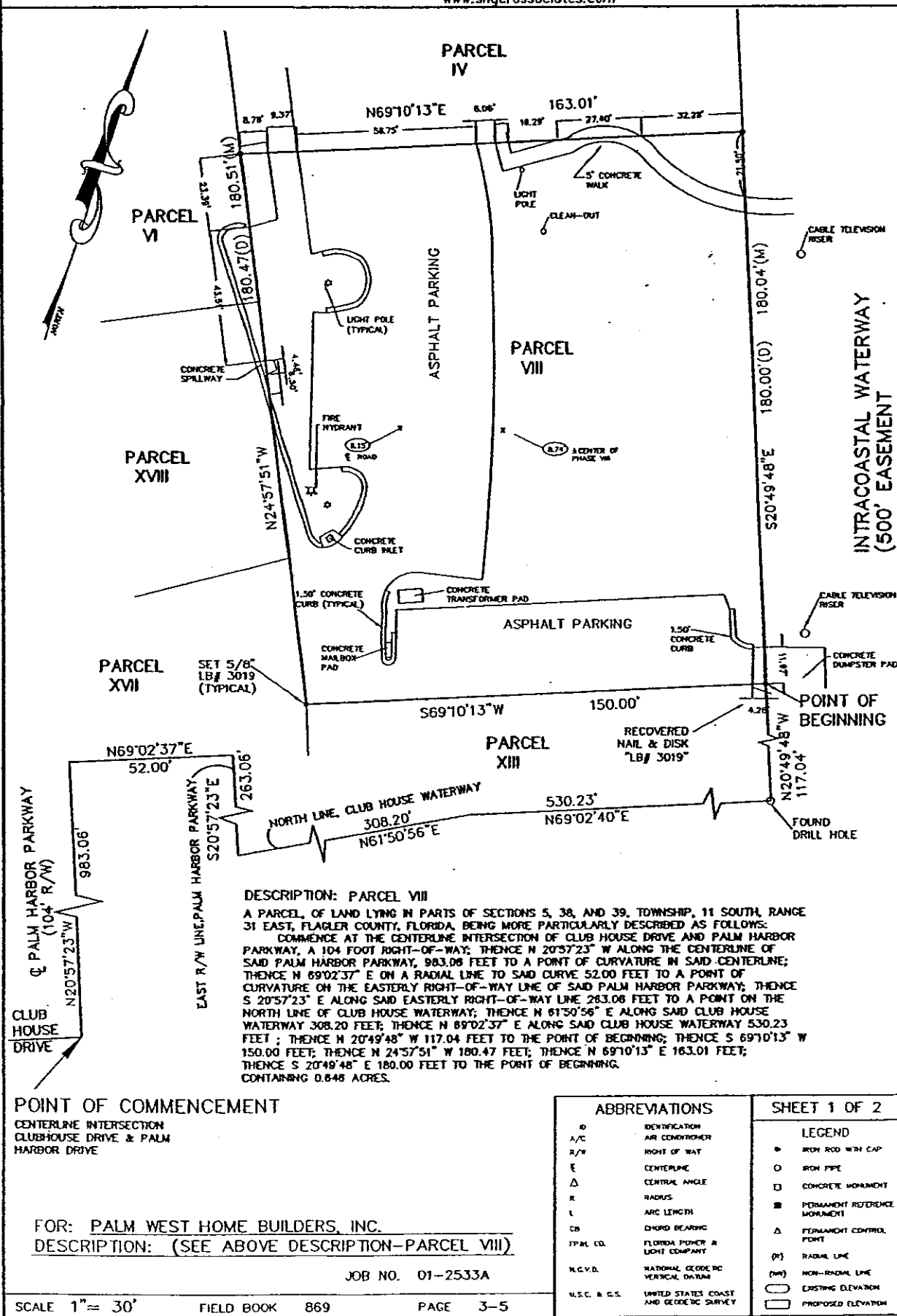
Second Floor Electrical Plan
Four Unit Building D
Scale: 1/4" = 1'-0"

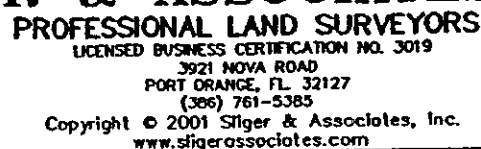
E7	S-00000	Walter James O'Kon ARCHITECT 1000 10th Street N. Suite 1000 St. Petersburg, FL 33704 (813) 422-0070	PALM WEST HOME BUILDERS 1000 10th Street N. Suite 1000 St. Petersburg, FL 33704 (813) 422-0070	Sims & Bosch, P.A. 1000 10th Street N. Suite 1000 St. Petersburg, FL 33704 (813) 422-0070	Sims & Bosch, P.A. 1000 10th Street N. Suite 1000 St. Petersburg, FL 33704 (813) 422-0070
		Walter James O'Kon ARCHITECT 1000 10th Street N. Suite 1000 St. Petersburg, FL 33704 (813) 422-0070			

[illegible][illegible][illegible]

RISERS, DETAILS & SCHEDULES

	Home Care Consultants Palm West Home Realty PALM BEACH COUNTY, FLORIDA 10000 S.W. 11th Ave., Suite 100 Boca Raton, FL 33433 (407) 366-1111	WALTER JAMES O'KON ARCHITECT 1000 S.W. 11th Ave., Suite 100 Boca Raton, FL 33433 (407) 366-1111	(407) 366-1111	 1000 S.W. 11th Ave., Suite 100 Boca Raton, FL 33433 (407) 366-1111	
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1. NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR OTHER MATTERS THAT ARE NOT SHOWN ON THIS PLAT OF SURVEY/SKETCH OF DESCRIPTION THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. THIS SURVEY/SKETCH PREPARED WITHOUT BENEFIT OF AN ABSTRACT.
2. DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
3. BEARING STRUCTURE BASED ON DESCRIPTION WITH THE BEARING ON THE SOUTHERLY LINE OF PARCEL VII
BEING S 69°10'13" W
4. UNDERGROUND FOUNDATIONS, IF ANY, NOT LOCATED.
5. ELEVATIONS REFER TO N.G.V.D. OF 1929, PER BENCH MARK PROVIDED BY I.T.T. ENGINEERING DEPARTMENT.
6. THIS PROPERTY IS LOCATED IN F.I.R.M. ZONE A8 THIS LOCATION IS DETERMINED BY SCALING FROM F.I.R.M. COMMUNITY PANEL 120085 00458 MAP REVISED FEB. 5, 1986 APPROXIMATE SCALE 1" = 1000'
7. FLOOD ZONE CERTIFICATION ADDED TO SURVEY: JULY 17, 1998 (98-2505)
8. UNLESS OTHERWISE SHOWN, RECORD DISTANCES AND DIRECTIONS AND FIELD MEASURED DISTANCES AND DIRECTIONS ARE THE SAME.
9. DESCRIPTION PROVIDED BY CLIENT
10. REVISED JULY 5, 2002. REPLACED "PHASE" WITH "PARCEL". (02-1758) NO. ADDITIONAL FIELD WORK DONE THIS DATE.

NOTE:
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED
SURVEYOR AND MAPPER.

REFERENCE: PARCEL VIII, MARINA COVE

PLAT PREPARED FOR THE FOLLOWING: (ONLY THE LAST DATE IS CERTIFIED ON SEALED COPY)

THIS PLAT OF SURVEY IS CERTIFIED TO AND PREPARED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES AND/OR INDIVIDUALS LISTED BELOW, ON THE MOST CURRENT DATE, AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.

[illegible]

SHEET 2 OF 2

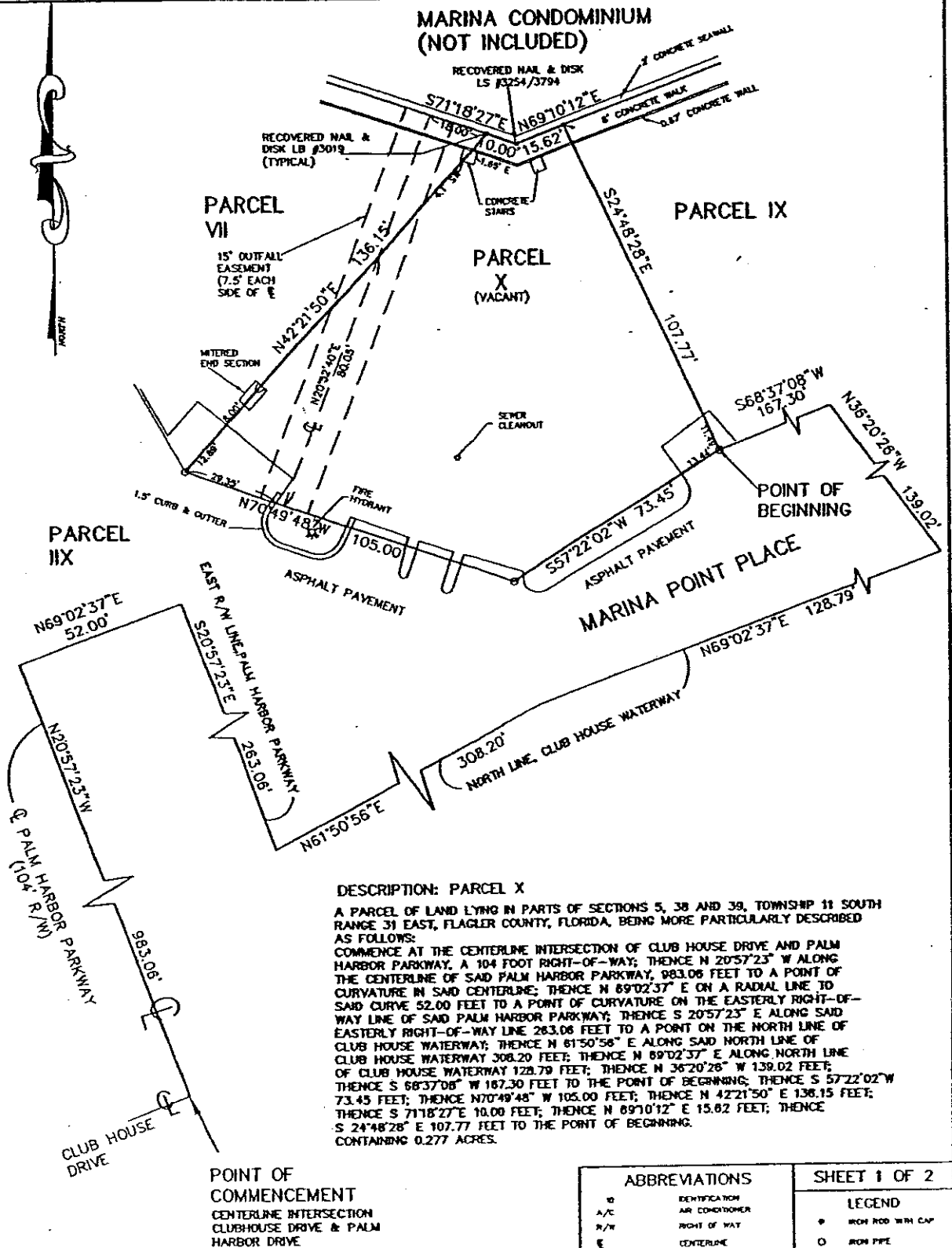
VALID WITH SIGNATURE & EMBOSSED SEAL ONLY

FOR: PALM WEST HOME BUILDERS, INC.

	DATE	JOB NO.	P.C.	DRW.	CHECKED BY
SKETCH OF DESCRIPTION					
BOUNDARY SURVEY	JULY 17, 1998	98-2505A	MR	RB	STK
TOPOGRAPHIC SURVEY					
FOUNDATION LOCATED					
FINAL IMPROVEMENTS					
RECERTIFICATION	NOVEMBER 12, 2001	01-2533A	DE	BB	STK
PROPOSED HOUSE LOCATION					

I HEREBY CERTIFY THAT THIS PLAT
MEETS THE MINIMUM TECHNICAL
STANDARDS SET FORTH BY THE
FLORIDA BOARD OF PROFESSIONAL
LAND SURVEYORS IN CHAPTER
61G17-6, FLORIDA ADMINISTRATIVE
CODE PURSUANT TO SECTION
472.027, FLORIDA STATUTES.

STEPHEN B. SLIGER, P.L.S. NO. 3794
J.E. ZAPERT, P.L.S. NO. 4046
STEVEN T. KRUGER, P.L.S. NO. 4722
C.O. VAN KLEECK JR., P.S.M. NO. 6149



DESCRIPTION: PARCEL X

A PARCEL OF LAND LYING IN PARTS OF SECTIONS 5, 38 AND 39, TOWNSHIP 11 SOUTH RANGE 31 EAST, FLAGLER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE CENTERLINE INTERSECTION OF CLUB HOUSE DRIVE AND PALM HARBOR PARKWAY, A 104 FOOT RIGHT-OF-WAY; THENCE N 20°57'23\" W ALONG THE CENTERLINE OF SAID PALM HARBOR PARKWAY, 983.08 FEET TO A POINT OF CURVATURE IN SAID CENTERLINE; THENCE N 69°02'37\" E ON A RADIAL LINE TO SAID CURVE 52.00 FEET TO A POINT OF CURVATURE ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID PALM HARBOR PARKWAY; THENCE S 20°57'23\" E ALONG SAID EASTERLY RIGHT-OF-WAY LINE 283.08 FEET TO A POINT ON THE NORTH LINE OF CLUB HOUSE WATERWAY; THENCE N 61°50'56\" E ALONG SAID NORTH LINE OF CLUB HOUSE WATERWAY 308.20 FEET; THENCE N 69°02'37\" E ALONG NORTH LINE OF CLUB HOUSE WATERWAY 128.79 FEET; THENCE N 36°20'28\" W 139.02 FEET; THENCE S 68°37'08\" W 167.30 FEET TO THE POINT OF BEGINNING; THENCE S 57°22'02\" W 73.45 FEET; THENCE N70°49'48\" W 105.00 FEET; THENCE N 42°21'50\" E 136.15 FEET; THENCE S 71°18'27\" E 10.00 FEET; THENCE N 69°10'12\" E 15.62 FEET; THENCE S 24°48'28\" E 107.77 FEET TO THE POINT OF BEGINNING. CONTAINING 0.277 ACRES.

FOR: PALM WEST HOME BUILDERS, INC.

DESCRIPTION: (SEE DESCRIPTION ABOVE-PARCEL X)

JOB#01-25338

SCALE 1\"=30'

FIELD BOOK 862

PAGE 27

ABBREVIATIONS

A/C	AIR CONDITIONER
R/W	RIGHT OF WAY
E	CENTERLINE
Δ	CENTRAL ANGLE
R	RADIUS
L	ARC LENGTH
CB	CHORD BEARING
FP&L CO.	FLORIDA POWER & LIGHT COMPANY
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM
U.S.C. & G.S.	UNITED STATES COAST AND GEODETIC SURVEY

SHEET 1 OF 2

LEGEND

●	IRON ROD WITH CAP
○	IRON PIPE
□	CONCRETE MONUMENT
■	PERMANENT REFERENCE MONUMENT
Δ	PERMANENT CONTROL POINT
(R)	RADIAL LINE
(NR)	NON-RADIAL LINE
○	EXISTING ELEVATION
□	PROPOSED ELEVATION

B-69318

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PROFESSIONAL LAND SURVEYORS

LICENSED BUSINESS CERTIFICATION NO. 3019

3921 NOVA ROAD
PORT ORANGE, FL. 32127
(386) 761-5385

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SURVEYOR'S NOTES

1. NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR OTHER MATTERS THAT ARE NOT SHOWN ON THIS PLAT OF SURVEY/SKETCH OF DESCRIPTION THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. THIS SURVEY/SKETCH PREPARED WITHOUT BENEFIT OF AN ABSTRACT.
2. DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
3. BEARING STRUCTURE BASED ON RECORD PLAT WITH THE BEARING ON THE EASTERLY LINE OF PARCEL X
BEING S 24°48'28" E
4. UNDERGROUND FOUNDATIONS, IF ANY, NOT LOCATED.
5. ELEVATIONS REFER TO N.G.V.D. OF 1929, PER BENCH MARK PROVIDED BY I.T.I. ENGINEERING DEPARTMENT.
6. THIS PROPERTY IS LOCATED IN F.I.R.M. ZONE C THIS LOCATION IS DETERMINED BY SCALING FROM F.I.R.M. COMMUNITY PANEL 120085 00458 MAP REVISED FEB. 5, 1986 APPROXIMATE SCALE 1"= 1000'
7. FLOOD ZONE CERTIFICATION ADDED TO SURVEY: JULY 17, 1998 (98-25058)
8. UNLESS OTHERWISE SHOWN, RECORD DISTANCES AND DIRECTIONS AND FIELD MEASURED DISTANCES AND DIRECTIONS ARE THE SAME.
9. REVISED JULY 5, 2002. REPLACED "PHASE" WITH "PARCEL". (02-1758). NO ADDITIONAL FIELD WORK DONE THIS DATE.

NOTE:

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REFERENCE: PARCEL X, MARINA COVE

PLAT PREPARED FOR THE FOLLOWING: (ONLY THE LAST DATE IS CERTIFIED ON SEALED COPY)

THIS PLAT OF SURVEY IS CERTIFIED TO AND PREPARED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES AND/OR INDIVIDUALS LISTED BELOW, ON THE MOST CURRENT DATE, AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.

[illegible]

SHEET 2 OF 2

VALID WITH SIGNATURE & EMBOSSED SEAL ONLY

FOR : PALM WEST HOME BUILDERS, INC.

	DATE	JOB NO.	P.C.	DRW.	CHECKED BY
SKETCH OF DESCRIPTION					
BOUNDARY SURVEY	JULY 17, 1998	98-25058	MR	BR	STK
TOPOGRAPHIC SURVEY					
FOUNDATION LOCATED					
FINAL IMPROVEMENTS					
RECERTIFICATION	NOVEMBER 12, 2001	01-25338	DE	BR	STK
PROPOSED HOUSE LOCATION					

I HEREBY CERTIFY THAT THIS PLAT
MEETS THE MINIMUM TECHNICAL
STANDARDS SET FORTH BY THE
FLORIDA BOARD OF PROFESSIONAL
LAND SURVEYORS IN CHAPTER
61C17-6, FLORIDA ADMINISTRATIVE
CODE, PURSUANT TO SECTION
472.022, FLORIDA STATUTES.

STEPHEN B. SLIGER, P.L.S. NO. 3794
J.E. ZAPERT, P.L.S. NO. 4046
STEVEN T. KRUGER, P.L.S. NO. 4722
C.O. VAN KLEECK JR., P.S.M. NO. 6149



PROFESSIONAL LAND SURVEYORS

LICENSED BUSINESS CERTIFICATION NO. 3019

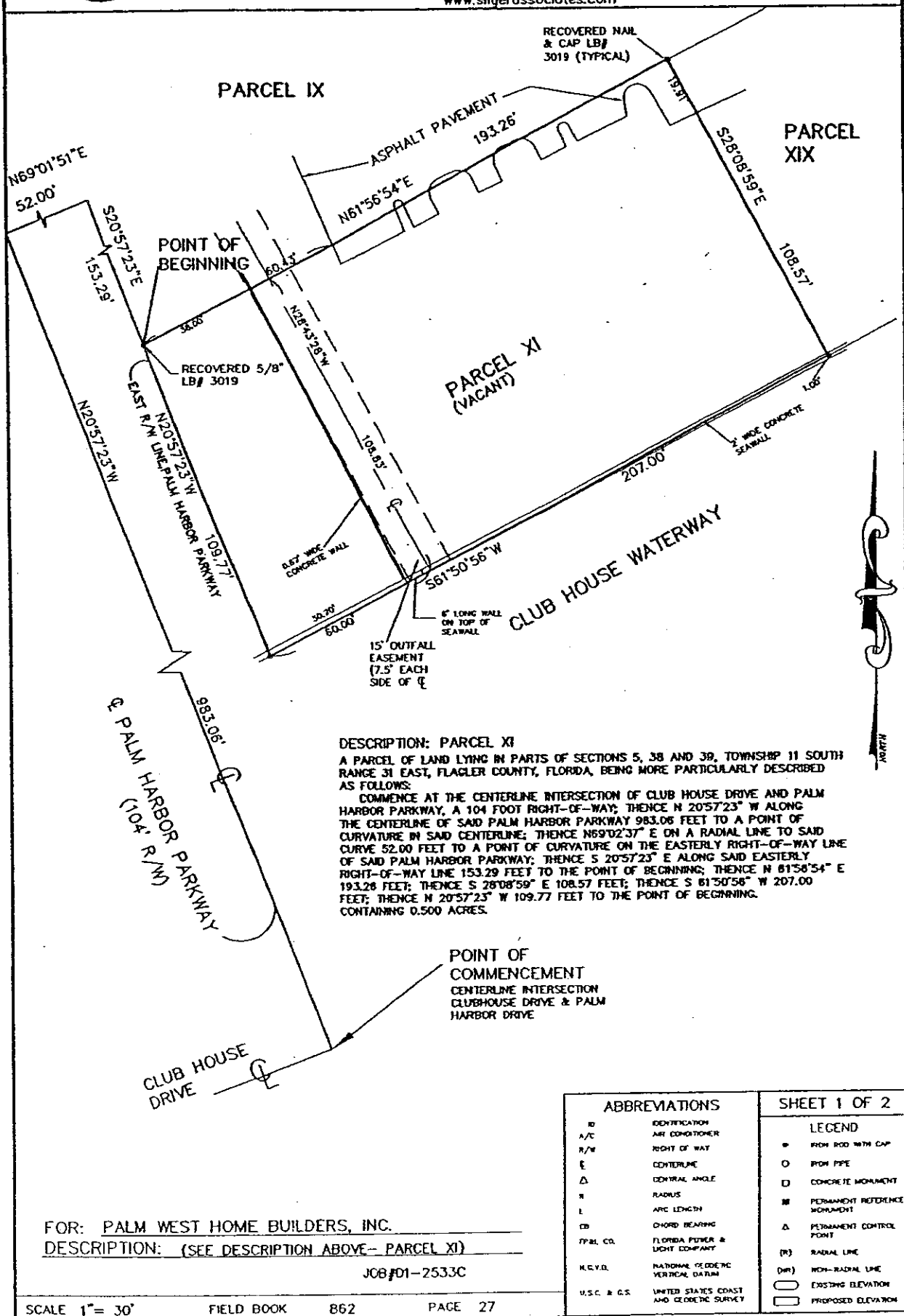
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PORT ORANGE, FL. 32127

(386) 761-5385

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B-6931C

94



PROFESSIONAL LAND SURVEYORS

LICENSED BUSINESS CERTIFICATION NO. 3019

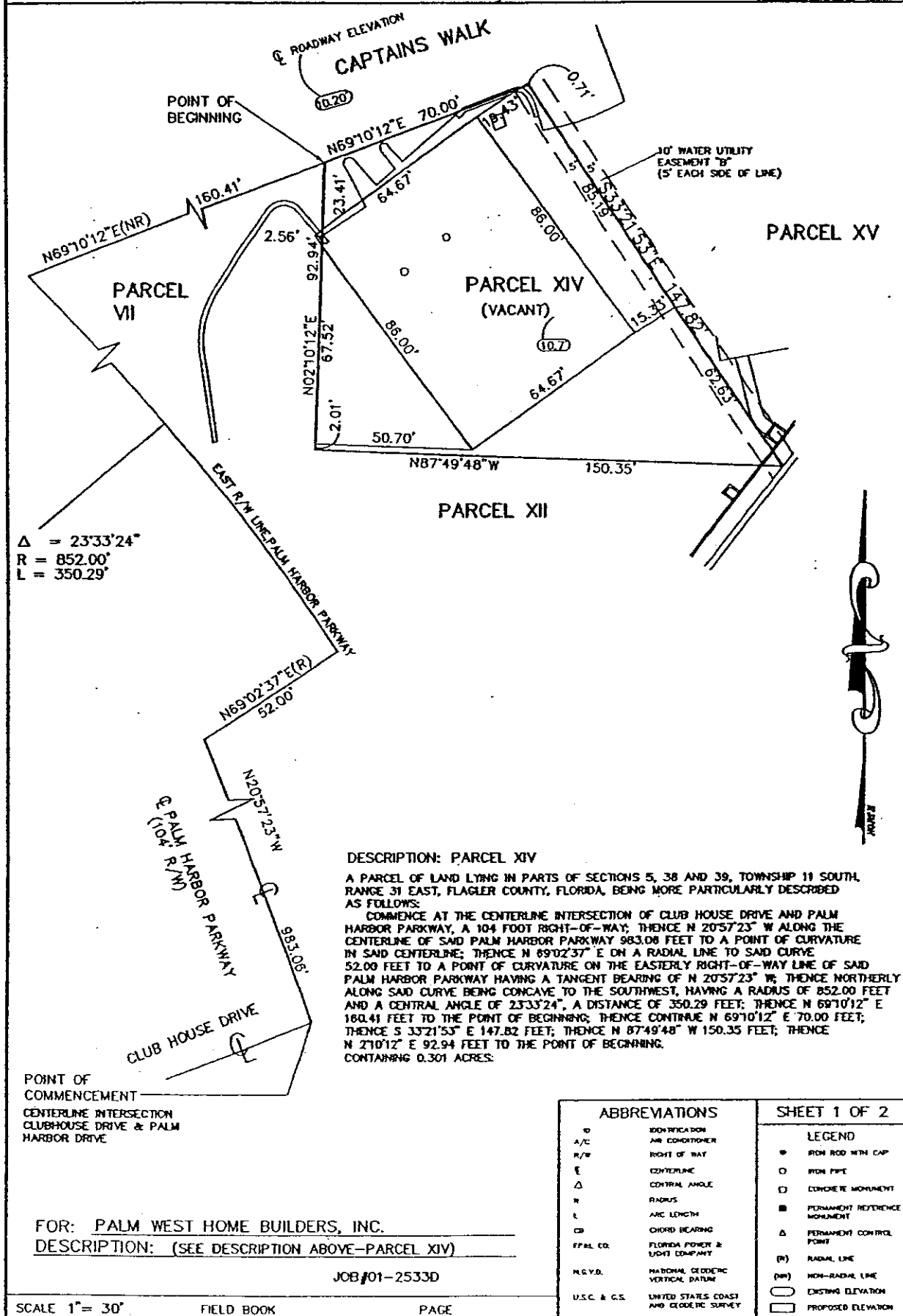
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1. NOTICE: THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR OTHER MATTERS THAT ARE NOT SHOWN ON THIS PLAT OF SURVEY/SKETCH OF DESCRIPTION THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. THIS SURVEY/ SKETCH PREPARED WITHOUT BENEFIT OF AN ABSTRACT.
2. DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
3. BEARING STRUCTURE BASED ON RECORD PLAT WITH THE BEARING ON THE SOUTHERLY LINE OF PARCEL XIV
BEING N 87°49'48" W
4. UNDERGROUND FOUNDATIONS, IF ANY, NOT LOCATED.
5. ELEVATIONS REFER TO N.G.V.D. OF 1929, PER BENCH MARK PROVIDED BY L.I.T. ENGINEERING DEPARTMENT.
6. THIS PROPERTY IS LOCATED IN F.I.R.M. ZONE C THIS LOCATION IS DETERMINED BY SCALING FROM F.I.R.M. COMMUNITY PANEL 120085 0045B MAP REVISED FEB. 5, 1986 APPROXIMATE SCALE 1"= 1000'
7. FLOOD ZONE CERTIFICATION ADDED TO SURVEY: JULY 17, 1998 (98-25050)
8. UNLESS OTHERWISE SHOWN, RECORD DISTANCES AND DIRECTIONS AND FIELD MEASURED DISTANCES AND DIRECTIONS ARE THE SAME.
9. DESCRIPTION PROVIDED BY CLIENT
10. REVISED JULY 5, 2002. REPLACED "PHASE" WITH "PARCEL". (02-1758) NO ADDITIONAL FIELD WORK DONE THIS DATE.

NOTE:
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED
SURVEYOR AND MAPPER

REFERENCE: PARCEL XIV. MARINA COVE

PLAT PREPARED FOR THE FOLLOWING: (ONLY THE LAST DATE IS CERTIFIED ON SEALED COPY)

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SHEET 2 OF 2

VALID WITH SIGNATURE & EMBOSSED SEAL ONLY

FOR: PALM WEST HOME BUILDERS, INC.

SKETCH OF DESCRIPTION	DATE	JOB NO.	P.C.	DRW.	CHECKED BY
BOUNDARY SURVEY	JULY 17, 1998	98-2505D	MR	RB	STK
TOPOGRAPHIC SURVEY					
FOUNDATION LOCATED					
FINAL IMPROVEMENTS					
RECERTIFICATION	NOVEMBER 12, 2001	01-2533D	DE	BB	STK
PROPOSED HOUSE LOCATION					

I HEREBY CERTIFY THAT THIS PLAT
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CODE, PURSUANT TO SECTION
472.007, FLORIDA STATUTES.

STEPHEN B. SUGER, P.L.S. NO. 3794
J.E. ZAPERT, P.L.S. NO. 4046
STEVEN T. KRUGER, P.L.S. NO. 4722
C.O. VAN KLEECK JR., P.S.M. NO. 6149

EXHIBIT B
TO
DECLARATION OF CONDOMINIUM

SCHEDULE OF SHARE OF COMMON ELEMENTS,
COMMON SURPLUS AND COMMON EXPENSE
APPURTENANT TO EACH UNIT

<u>Unit #:</u>	<u>Share of Common Elements:</u>	<u>Share of Common Surplus:</u>	<u>Share of Common Expense:</u>
1	1/12	1/12	1/12
2	1/12	1/12	1/12
3	1/12	1/12	1/12
4	1/12	1/12	1/12
17	1/12	1/12	1/12
18	1/12	1/12	1/12
28	1/12	1/12	1/12
29	1/12	1/12	1/12
73	1/12	1/12	1/12
74	1/12	1/12	1/12
75	1/12	1/12	1/12
76	1/12	1/12	1/12